

MAP 2A  
E.D. 13  
DATE 1/14/86  
200 12  
1000 12  
DP

86-272-X  
# 154

1-15-86  
86-272-X  
# 154

ORDER RECEIVED FOR FILING  
DATE 1/14/86  
BY [Signature]  
ADMINISTRATIVE SERVICES

# PETITION FOR SPECIAL EXCEPTION

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and, made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for (Repair and refinishing of automobiles and storage of same.) Service Garage

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser:

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner:

(Type or Print Name)

Signature

Address

City and State

Attorney's Telephone No.:

Legal Owner(s):

David J. Fisher, Sr.

(Type or Print Name)

Signature

Linda L. Fisher

(Type or Print Name)

Signature

Address

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

David J. Fisher, Sr.

Name

3716 Annapolis Rd. 789-5250

Address

Phone No.

ORDERED By The Zoning Commissioner of Baltimore County, this 26th day of November, 1985, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 13th day of January, 1986, at 10:00 o'clock

[Signature]  
Zoning Commissioner of Baltimore County.

(over)

MAP 2A  
E.D. 13  
DATE 1/14/86  
200 12  
1000 12  
DP

IN RE: PETITION SPECIAL EXCEPTION \* BEFORE THE  
W/S of Annapolis Road, 385' \* ZONING COMMISSIONER  
S of Daisy Avenue \* OF BALTIMORE COUNTY  
(3716 Annapolis Road) -  
13th Election District \*  
David J. Fisher, Sr., et ux, \* Case No. 86-272-X  
Petitioners \*

## FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Petitioners herein request a special exception for a service garage, as more particularly described on Petitioners' Exhibit 1.

The Petitioners appeared and testified. There were no Protestants.

Testimony indicated that the subject property, zoned B.L., and located on Annapolis Road, has been improved with a service garage since at least 1918. Indeed, the evidence was convincing that the service garage is nonconforming. There were photographs dating from 1929 showing the service garage with five bays, totaling 2,283 square feet, and the then owner. The Petitioners have been operating the business since their purchase of the property in 1971.

The property is triangular in shape and measures approximately 124 feet on Annapolis Road, its widest point, approximately 129 feet on the north property line, and approximately 170 feet on the south property line. A commercial use located to the south, i.e., John's Deli, permits the Petitioners to use an in-common entrance and also to park vehicles on its property to the west of both sites. To the north is a residence located on property zoned B.L.

The Petitioners seek relief from Section 230.13, pursuant to Section 502.3, Baltimore County Zoning Regulations (BCZR).

It is clear that the BCZR permits the use requested by the Petitioners in a B.L. Zone by special exception. It is equally clear that the proposed use

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BY [Signature]  
ADMINISTRATIVE SERVICES

would not be detrimental to the primary uses in the vicinity. Therefore, it must be determined whether the conditions as delineated by Section 502.1 are satisfied by the Petitioners.

After reviewing all of the testimony and evidence presented, it appears that the special exception should be granted with certain restrictions, as more fully described below.

The Petitioners had the burden of adducing testimony and evidence which would show that the proposed use met the prescribed standards and requirements set forth in Section 502.1. In fact, the Petitioners have shown that the proposed use would be conducted without real detriment to the neighborhood and would not adversely affect the public interest. The facts and circumstances do not show that the proposed use at the particular location described by Petitioners' Exhibit 1 would have any adverse impact above and beyond that inherently associated with such a special exception use, irrespective of its location within the zone. Schultz v. Pritts, 432 A.2d 1319 (1981).

The proposed use will not be detrimental to the health, safety, or general welfare of the locality, nor tend to create congestion in roads, streets, or alleys therein, nor be inconsistent with the purposes of the property's zoning classification, nor in any other way be inconsistent with the spirit and intent of the BCZR.

Pursuant to the advertisement, posting of property, and public hearing held, and it appearing that by reason of the requirements of Section 502.3 having been met and the health, safety, and general welfare of the community not being adversely affected, the special exception should be granted.

Therefore, IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 21st day of January, 1986, that the Petition for Special Exception

- 2 -

ORDER RECEIVED FOR FILING  
DATE 1/14/86  
BY [Signature]  
ADMINISTRATIVE SERVICES

for a service garage be and is hereby GRANTED, from and after the date of this Order, subject, however, to the following restrictions which are conditions precedent to the relief granted herein:

1. The Petitioners must obtain a written agreement from John's Deli which authorizes them to use its property for access and also to park undamaged and non-disabled, operable and driveable vehicles on the rear of its property.
2. A revised site plan, conforming to the concerns raised by the State Highway Administration and the County Department of Traffic Engineering in the Zoning Advisory Committee comments, shall be submitted to the Zoning Commissioner for approval.
3. The Petitioners shall satisfy Section 405A, BCZR, by erecting an eight-foot-high fence on the north and south property lines, as shown on Petitioners' Exhibit 1.

[Signature]  
Zoning Commissioner of Baltimore County

AJ/BL

cc: Mr. & Mrs. David J. Fisher, Sr.

People's Counsel

ORDER RECEIVED FOR FILING  
DATE 1/14/86  
BY [Signature]  
ADMINISTRATIVE SERVICES

- 3 -

PHONE: 483-5150

## KELLER & KELLER

State Registered Land Surveyors

City, Farm and Topographic Surveys  
Land & Seafloor Earthwork Computations

3914 WOODLEA AVENUE  
BALTIMORE, MARYLAND 21208

Municipal Engineering  
Construction Supervision  
Road Location, Reports  
Plans and Specifications

ZONING DESCRIPTION

Sept. 18th, 1985

for

SPECIAL EXCEPTION

# 3716 Annapolis Road

BEGINNING at a point on the West side of Annapolis Rd. at the distance of 385' measured southerly from the South side of Daisy Ave.; thence leaving said Annapolis Rd. and running N. 82°35' W. 129.2' to a point; thence S. 35°45' E. 169.6' to intersect the said West side of Annapolis Rd.; thence binding along the said West side of Annapolis Rd. N. 13°30' E. 124.4' to the place of beginning.

CONTAINING 0.183 Acres of land more or less.

BEING known and designated as Lot No. 200 as shown on the Plat of part of Section B, "ENGLISH CONSUL ESTATE", Balto. Co. Plat Book W.P.C. No. 3, folio 109



[Signature]  
George T. Keller  
Reg. Prof. Propt.L.S.No.67

OFFICE COPY

## PETITION FOR SPECIAL EXCEPTION

13th Election District

LOCATION: West side of Annapolis Road, 385 feet South of Daisy Avenue (3716 Annapolis Road)

DATE AND TIME: Monday, January 13, 1986 at 10:00 a.m.

PUBLIC HEARING: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a service garage.

Being the property of David J. Fisher, Sr., et ux as shown on the plat filed with the Zoning Office.

In the event that this Petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be received in writing by the date of the hearing set above or made at the hearing.

BY ORDER OF  
ARNOLD JABLON  
ZONING COMMISSIONER  
OF BALTIMORE COUNTY

RE: PETITION FOR SPECIAL EXCEPTION : BEFORE THE ZONING COMMISSIONER  
W/S Annapolis Rd., 385' S of Daisy Ave. (3716 Annapolis Rd.) : OF BALTIMORE COUNTY  
13th District

DAVID J. FISHER, SR., et ux, Case No. 86-272-X  
Petitioners

## ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notices should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

[Signature]  
Phyllis Cole Friedman  
Phyllis Cole Friedman  
People's Counsel for Baltimore County

[Signature]  
Peter Max Zimmerman  
Peter Max Zimmerman  
Deputy People's Counsel  
Rm. 223, Court House  
Towson, MD 21204  
494-2188

I HEREBY CERTIFY that on this 17th day of December, 1985, a copy was mailed to Mr. and Mrs. David J. Fisher, Sr., 3716 Annapolis Rd., Baltimore, MD 21227, Petitioners.

[Signature]  
Peter Max Zimmerman  
Peter Max Zimmerman

1 JAN 1986



Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that by reason of the requirements of Section 502.1 of the Baltimore County Zoning Regulations

BALTIMORE COUNTY  
OFFICE OF PLANNING & ZONING  
TOWSON, MARYLAND 21204  
494-3353

ARNOLD JABLON  
ZONING COMMISSIONER

JEAN M. H. JUNG  
DEPUTY ZONING COMMISSIONER

January 2, 1985

Mr. and Mrs. David J. Fisher, Sr.  
3716 Annapolis Road  
Baltimore, Maryland 21227

Re: Petition for Special Exception  
W/S Annapolis Road, 385' S of Daisy Avenue  
(3716 Annapolis Road) - 13th Election District  
David J. Fisher, Sr., et ux. - Petitioners  
Case No. 86-272-X

Dear Mr. and Mrs. Fisher:

This is to advise you that \$46.53 is due for advertising and posting of the above property. This fee must be paid before an Order is issued.

THIS FEE MUST BE PAID AND THE ZONING SIGN AND POST RETURNED ON THE DAY OF THE HEARING OR THE ORDER SHALL NOT BE ISSUED.

Do not remove sign from property from the time it is placed by this office until the day of the hearing itself.

Please make the check payable to Baltimore County, Maryland, and remit to the Zoning Department, Towson, Maryland

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT

No. 018402

DATE 1-13-86 ACCOUNT R-01-615-000

AMOUNT \$ 46.53

RECEIVED FROM David J. Fisher, Sr. et ux.

FOR Advertising & Posting 86-272-X

9-8311\*\*\*\*\*1000018 9226F

VALIDATION OR SIGNATURE OF CASHIER

PETITION FOR SPECIAL  
EXCEPTION  
13th Election District  
LOCATION: West side of Annapolis  
Rd., 385' S of Daisy Ave.  
Annapolis (3716 Annapolis Road)  
DATE AND TIME: Monday, January  
13, 1986 at 10:00 a.m.  
PUBLIC HEARING: Room 106,  
County Office Building, 111 W.  
Chesapeake Avenue, Towson,  
Maryland

# CERTIFICATE OF PUBLICATION

TOWSON, MD., December 26 1985

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., appearing on December 26 1985.

THE JEFFERSONIAN,

Cost of Advertising

24.75

# CERTIFICATE OF POSTING

ZONING DEPARTMENT OF BALTIMORE COUNTY  
Towson, Maryland

District 13th Date of Posting 12-24-85

Posted for: Special Exception

Petitioner: David J. Fisher, Sr. et ux.

Location of property: W/S of Annapolis Road, 385' S of Daisy Ave.  
(3716 Annapolis Road)

Location of Sign: Close front of subject property, 3716 Annapolis Rd.

Remarks: A.D. Poster

Posted by: A.D. Poster Date of return: January 3-86

Number of Signs: 4

Mr. and Mrs. David J. Fisher, Sr.  
3716 Annapolis Road  
Baltimore, Maryland 21227

December 13, 1985

# NOTICE OF HEARING

PETITION FOR SPECIAL EXCEPTION  
W/S Annapolis Rd., 385' S of Daisy Ave.  
(3716 Annapolis Road) - 13th Elec. Dist.  
David J. Fisher, Sr., et ux. - Petitioners  
Case No. 86-272-X

TIME: 10:00 a.m.

DATE: Monday, January 13, 1986

PLACE: Room 106, County Office Building, 111 West Chesapeake

Avenue, Towson, Maryland

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT

No. 012341

DATE 1/12/86 ACCOUNT R-01-615-000

AMOUNT \$ 100.00

RECEIVED FROM George Killop

FOR 1/12/86 #15K

9-8311\*\*\*\*\*1000018 9226F

VALIDATION OR SIGNATURE OF CASHIER

David J. Fisher, Sr.

# DAVE'S SERVICE CENTER

Good Products... Great Service

3716 ANNA-OLIS ROAD  
BALTIMORE, MD. 21227

February 21, 1985

Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Mr. Arnold Jablon:

Re: Case No. 86-272-X

Enclosed is a letter satisfying restriction No. 1, for granting of Special Exception Zoning.

Sincerely,

David J. Fisher, Sr., et ux.

David J. Fisher, Sr.

# DAVE'S SERVICE CENTER

Good Products... Great Service

3716 ANNAPOLIS ROAD  
BALTIMORE, MD. 21227

Permission is hereby granted to Dave's Service Center to use property belonging to the establishment known as John's Italian Deli, located at 3802 Annapolis Road, for access and also to park undamaged and non-disabled, operable and driveable vehicles on the rear of its property.

John W. Langer  
John's Italian Deli

2/10/86

David J. Fisher, Sr.  
Dave's Service Center

2-17-86

cc: JID

ISC

# BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE CORRESPONDENCE

Michael S. Flannigan

TO: Department of Traffic Engineering

Date: March 10, 1986

Arnold Jablon

FROM: Zoning Commissioner

Case No. 86-272-X

SUBJECT: David J. Fisher, Sr., et ux, Petitioners

If the attached plan is acceptable to you and the State Highway Administration, please let me know.

AJ/srl

Attachment

RECEIVED

MAR 11 1986

TRAFFIC ENGINEERING

JUN 7 1987



# BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE CORRESPONDENCE

TO: James E. Dyer, \_\_\_\_\_ Date: October 22, 1985  
 FROM: James H. Thompson, \_\_\_\_\_  
 David J. and Linda Lee Fisher, Petitioners  
 SUBJECT: Item No. 154

Please note that the above subject petition is an active violation case, C-85-876. When this matter is scheduled for a hearing, please notify:

Alice Marsh  
 3714 Annapolis Road  
 Baltimore, Maryland 21227

JHT:ach

# BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE CORRESPONDENCE

Arnold Jablon \_\_\_\_\_ Date: December 30, 1985  
 TO: Zoning Commissioner  
 Norman E. Gerber, AICP, Director  
 FROM: Office of Planning and Zoning  
 SUBJECT: Zoning Petition No. 86-272-X

Assuming compliance with the comments of the Zoning Plans Advisory Committee, this office is not opposed to the granting of the subject request.

Norman E. Gerber, AICP  
 Director

NEC:JCH:slm

Case No. 85-272-X

## BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building  
 111 W. Chesapeake Avenue  
 Towson, Maryland 21204

Your petition has been received and accepted for filing this  
 26th day of November, 1985

Arnold Jablon  
 Zoning Commissioner

Petitioner David J. Fisher, Sr., et ux Received by: James E. Dyer  
 Petitioner's Attorney Chairman, Zoning Plans Advisory Committee

## BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

December 11, 1985

COUNTY OFFICE BLDG.  
 111 W. Chesapeake Ave.  
 Towson, Maryland 21204

Mr. and Mrs. David J. Fisher, Sr.  
 3716 Annapolis Road  
 Baltimore, Maryland 21227

RE: Item No. 154 - Case No. 86-272-X  
 Petitioners - David J. Fisher, Sr., et ux  
 Special Exception Petition

Dear Mr. and Mrs. Fisher:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above-referenced petition. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

Enclosed are all comments submitted from the members of the Committee at this time that offer or request information on your petition. If similar comments from the remaining members are received, I will forward them to you. Otherwise, any comment that is not informative will be placed in the hearing file. This petition was accepted for filing on the date of the enclosed filing certificate and a hearing scheduled accordingly.

Very truly yours,

James E. Dyer  
 Chairman  
 Zoning Plans Advisory Committee

JED:mr

Enclosures

cc: Keller & Keller  
 5914 Woodlea Avenue  
 Baltimore, Maryland 21206



November 13, 1985

Mr. A. Jablon  
 Zoning Commissioner  
 County Office Building  
 Towson, Maryland 21204

Attn: Mr. James Dyer

Re: ZAC Meeting of 11-5-85  
 ITEM: #154  
 Property Owner: David J. Fisher, Sr.  
 et ux  
 Location: W/S Annapolis Road,  
 Route 648, 385 feet S of Daisy Ave.  
 Existing Zoning: B.L.  
 Proposed Zoning: Special Exception  
 for a service garage  
 Acres: .183 acres  
 District: 13th Election District

Dear Mr. Jablon:

On review of the submittal of 10-21-85 and field inspection, the State Highway Administration will require the site plan to be revised.

The revised site plan must show two (2) 30' channelized entrances along the frontage of the site.

This improvement is needed to provide safe and controlled access to the site by use of State Highway Administration channelization (S.H.A. concrete curb and gutter) that does not exist today.

The red lined plan also shows a 30' uncommon entrance with the adjoining owner to the south. If the uncommon access cannot be resolved with the adjoining owner the proposed State Highway Administration concrete curb and gutter must be constructed to the south property line.

It is requested the site plan be revised prior to a hearing date being set.

Very truly yours,

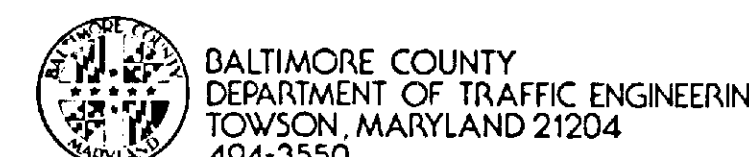
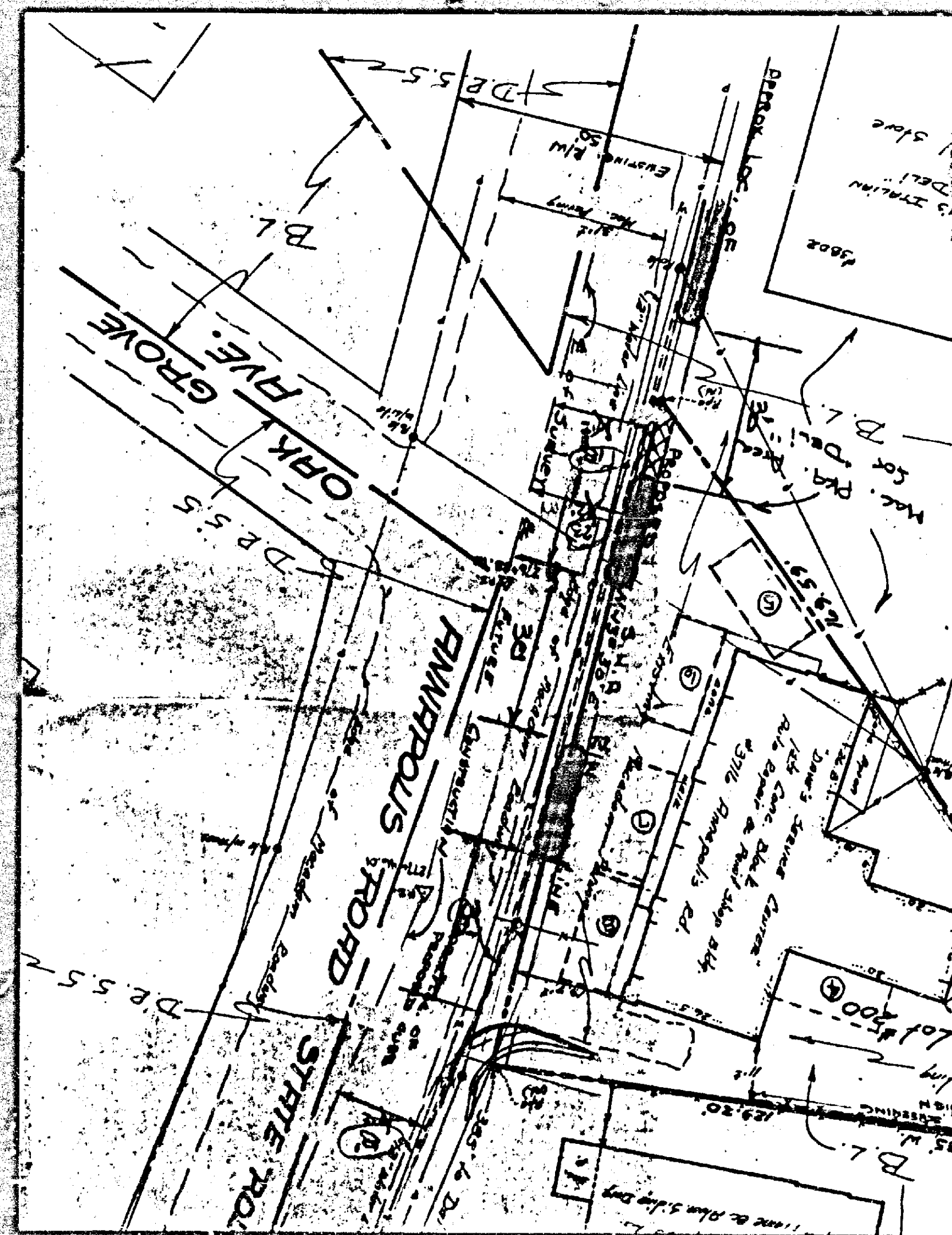
Charles Lee, Chief  
 Bureau of Engineering  
 Access Permits

By: George Wittman

CL:GW:maw

cc: Keller & Keller  
 Mr. J. Ogilvie

By telephone number is (301) 659-1350  
 Typewriter for Impaired Hearing or Speech  
 383-7555 Baltimore Metro - 565-0451 D.C. Metro - 1-800-492-5082 Statewide Toll Free  
 P.O. Box 717 707 North Calvert St., Baltimore, Maryland 21203 - 0717



STEPHEN E. COLLINS  
 DIRECTOR

November 18, 1985

Mr. Arnold Jablon  
 Zoning Commissioner  
 County Office Building  
 Towson, Maryland 21204

Item No. -ZAC- Meeting of November 5, 1985  
 Property Owner: 154  
 Location: David J. Fisher, Sr., et ux  
 Existing Zoning: W/S Annapolis Road, 385 ft. S of Daisy Avenue  
 Proposed Zoning: B.L.  
 Special Exception for a service garage

Acres: .183  
 District: 13th

Dear Mr. Jablon:

This department has reviewed the submitted site plans and has the following comments:

1. Parking - parking spaces #1, 2, 3, 4, & 5 do not meet county standards because they do not have a proper turn around area; parking spaces #5, 6, & 7 fail to meet county standards because they block the doors to the garage.
2. A sidewalk should be provided along the frontage of the site.
3. Annapolis Road is a state road and all entrance must be approved by the State Highway Administration.

Michael S. Flanagan  
 Traffic Engineer Associate II

MSF/bld

Nov. 6, 1985  
 Date

## BALTIMORE COUNTY DEPARTMENT OF HEALTH

Zoning Commissioner  
 Office of Planning and Zoning  
 County Office Building  
 Towson, Maryland 21204

Zoning Item # 154, Zoning Advisory Committee Meeting of Nov. 5, 1985

Property Owner: David J. Fisher, Sr.

Location: W/S Annapolis Rd, 385 ft S of Daisy Ave District: 13th

Water Supply: Public Sewage Disposal: Public

COMMENTS ARE AS FOLLOWS:

- ( ) Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for any existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Environmental Support Services, for final review and approval.
- ( ) Prior to new installation/s of fuel burning equipment, the owner should contact the Division of Air Pollution Control, 494-3775, to obtain requirements for such installation/s before work begins.
- (X) A permit to construct from the Division of Air Pollution Control is required for such items as spray paint processes, underground gasoline storage tank/s (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.
- ( ) A permit to construct from the Division of Air Pollution Control is required for any charcoal burner operation which has a total cooking surface area of five (5) square feet or more.
- ( ) Prior to approval of a Building Permit Application for renovations to existing or construction of new health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval.
- ( ) Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewerage facilities or other appliances pertaining to health and safety, two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Health for review and approval. For more complete information, contact the Recreational Hygiene Section, Division of Environmental Support Services.
- ( ) Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulations. For more complete information, contact the Division of Maternal and Child Health.
- (X) If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with Water Resources Administration requirements.

SS 20 1082 (1)

1 JAN 1986



Zoning Item # 154 Zoning Advisory Committee Meeting of Nov. 5, 1985  
Page 2

- ( ) Prior to making of existing structure/s, petitioner must contact the Division of Water Quality and Waste Management at 494-3768, regarding removal and/or disposal of potentially hazardous materials and solid wastes.
- (X) Any abandoned underground storage tanks containing gasoline, waste oil, solvents, etc., must have the contents removed by a licensed hauler and either be removed from the property or properly backfilled. Prior to removal or abandonment, owner must contact the Division of Water Quality and Waste Management at 494-3768.
- ( ) Soil percolation tests (have been/must be) conducted.  
( ) The results are valid until \_\_\_\_\_.  
( ) Soil percolation test results have expired. Petitioner should contact the Division of Environmental Support Services to determine whether additional tests are required.
- ( ) Where water wells are to be used as a source of water supply, a well meeting the minimum Baltimore County Standards must be drilled.
- ( ) In accordance with Section 13-117 of the Baltimore County Code, the water well yield test \_\_\_\_\_ shall be valid until \_\_\_\_\_ is not acceptable and must be retested. This must be accomplished prior to conveyance of property and approval of Building Permit Application.
- ( ) Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples.
- ( ) If submission of plans to the County Review Group is required, a Hydrogeological Study and an Environmental Effects Report must be submitted.
- ( ) Others \_\_\_\_\_

*[Signature]*  
Jan J. Forrester, Director  
BUREAU OF ENVIRONMENTAL SERVICES

SS 20 1283 (2) B

BALTIMORE COUNTY  
FIRE DEPARTMENT  
TOWSON, MARYLAND 21204-2586  
494-4500

PAUL H. REINKE  
CHIEF

November 21, 1985

Mr. Arnold Jablon  
Zoning Commissioner  
Office of Planning and Zoning  
Baltimore County Office Building  
Towson, Maryland 21204

Attention: Nick Commodari, Chairman  
Zoning Plans Advisory Committee

RE: Property Owner: David J. Fisher, Sr., et ux

Location: W/S Annapolis Road, 385' S. of Daisy Avenue

Item No.: 154 Zoning Agenda: Meeting of November 5, 1985

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- (X) 1. Fire hydrants for the referenced property are required and shall be located at intervals of 300 feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

- ( ) 2. A second means of vehicle access is required for the site.

- ( ) 3. The vehicle dead end condition shown at \_\_\_\_\_

EXCEEDS the maximum allowed by the Fire Department.

- ( ) 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.

- (X) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 edition prior to occupancy.

- ( ) 6. S... plans are approved, as drawn.

- ( ) 7. The Fire Prevention Bureau has no comment at this time.

REVIEWER: *[Signature]* Noted and Approved: *[Signature]*  
Planning Group Fire Prevention Bureau  
Special Inspection Division

/mb

BALTIMORE COUNTY  
DEPARTMENT OF PERMITS & LICENSES  
TOWSON, MARYLAND 21204  
494-3610

December 6, 1985

TED ZALESKI, JR.  
DIRECTOR

Mr. Arnold Jablon, Zoning Commissioner  
Office of Planning and Zoning  
Towson, Maryland 21204

Dear Mr. Jablon:

Comments on Item # 154 Zoning Advisory Committee Meeting are as follows:

Property Owner: David J. Fisher, Sr., et ux  
Location: W/S Annapolis Road, 385 feet S of Daisy Avenue  
13th.

Revised:

APPLICABLE ITEMS ARE CIRCLED:

- (1) All structures shall conform to the Baltimore County Building Code as adopted by Council Bill #17-85, the Maryland Code for the Landscaping and Aged (A.L.D.L. #17-85) and other applicable Code and Standards.

- B. A building and other miscellaneous permits shall be required before the start of any construction.

- C. Residential: Two sets of construction drawings are required to file a permit application. The seal of a registered in Maryland Architect or Engineer is/are not required to plans and technical data.

- D. Commercial: Three sets of construction drawings sealed and signed by a registered in Maryland Architect or Engineer shall be required to file with a permit application. Reproduced seals are not acceptable.

- E. All Use Groups except B-4 Single Family Detached Dwellings require a minimum of 1 hour fire rating for exterior walls closer than 6'-0" to an interior lot line. B-4 Use Groups require a one hour wall if closer than 3'-0" to an interior lot line. Any wall built on an interior lot line shall require a fire or party wall. See Table 101, Section 101.7, Section 106.2 and Table 102.5. No openings are permitted in an exterior wall within 3'-0" of an interior lot line.

- F. The structure does not appear to comply with Table 505 for permissible height/area. Reply to the requested variance by this office cannot be considered until the necessary data pertaining to height/area and construction type is provided. See Table 101 and 505 and have your Architect/Engineer contact this department.

- G. The requested variance appears to conflict with Section(s) \_\_\_\_\_ of the Baltimore County Building Code.

- H. When filing for a required Change of Use/Competition Permit, an attention permit application shall also be filed along with these sets of acceptable construction plans indicating how the existing structure is to be altered in order to comply with the Code requirements for the new use. Revised Architectural or Engineer seals are usually required. The change of the Groups are from Use \_\_\_\_\_ to Use \_\_\_\_\_ or to Mixed Use \_\_\_\_\_ See Section 102 of the Building Code.

- I. The proposed project appears to be located in a Flood Plain, Flood Hazard Area. Please see the attached copy of Section 245.0 of the Building Code as adopted by Bill #17-85, with plans shall show the correct elevations above sea level for the lot and the finished floor levels including basement.

- (1) Comments: It appears Section 103.0 as amended by Bill #17-85 may be applicable. However, fire or life safety violations should there be any, shall be corrected.

- L. These abbreviated comments reflect only on the information provided by the drawings submitted to the Office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired the applicant may obtain additional information by visiting Room 102 of the County Office Building 111 W. Chesapeake Avenue, Towson, Maryland 21204.

*[Signature]*  
St. C. E. Burman, Jr.  
Building Plans Review

L/27/85

BALTIMORE COUNTY  
OFFICE OF PLANNING AND ZONING  
TOWSON, MARYLAND 21204  
494-3610

Mr. Arnold Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

DECEMBER 13, 1985

Re: Zoning Advisory Meeting of November 5, 1985  
Item # 154  
Property Owner: DAVID J. FISHER, SR. ET UX  
Location: W/S ANAPOLIS RD. 385' S. OF DAISY AVE.

Dear Mr. Jablon:

The Division of Current Planning and Development has reviewed the subject petition and offers the following comments. The items checked below are applicable.

- (X) There are no site planning factors requiring comment.  
(X) A County Review Group meeting was held and the minutes will be forwarded by the Bureau of Public Services.  
( ) This site is part of a larger tract; therefore it is defined as a subdivision. The plan must show the entire tract.  
(X) A record plat will be required and must be recorded prior to issuance of a building permit.  
( ) The access is not satisfactory.  
(X) The circulation on this site is not satisfactory.  
( ) The parking arrangement is not satisfactory.  
( ) The parking calculations must be shown on the plan.  
( ) This property contains soils which are defined as wetlands, and development on these soils is prohibited.  
(X) Construction in or alteration of the floodplain is prohibited under the provisions of Section 22-58 of the Development Regulations.  
( ) Development of this site may constitute a potential conflict with the Baltimore County Master Plan.  
(X) The amended Development Plan was approved by the Planning Board on \_\_\_\_\_.  
(X) Understanding: Must comply with Baltimore County Landscape Manual, Bill 178-79. No building permit may be issued until a Reserve Capacity Use Certificate has been issued.  
( ) The property is located in a traffic area controlled by a "T" level intersection as defined by Bill 178-79, and as conditions change the intersection shall be re-evaluated annually by the County Council.  
( ) Additional comments: \_\_\_\_\_

cc: James Hovell

Eugene A. Rober  
Chief, Current Planning and Development

BALTIMORE COUNTY  
DEPARTMENT OF TRAFFIC ENGINEERING  
TOWSON, MARYLAND 21204  
494-3550

STEPHEN E. COLLINS  
DIRECTOR

March 12, 1986

Mr. Arnold Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Item No. 154 -ZAC-  
Property Owner: David J. Fisher, Sr., et ux  
Location: W/S Annapolis Road, 385 ft. S Daisy Avenue  
Existing Zoning: B.L.  
Proposed Zoning: Special Exception for a service garage

Acres: .183  
District: 13th

Dear Mr. Jablon:

The site plan for item #154 appears to be satisfactory.

*[Signature]*  
Richard S. Alanson  
Traffic Engineer Associate II

MSP/bld

Maryland Department of Transportation  
State Highway Administration

William H. Williams  
Director  
Mr. Ernest  
Assistant

November 13, 1985

Mr. A. Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Attn: Mr. James Dyer

Dear Mr. Jablon:

On review of the submittal of 10-21-85 and field inspection the State Highway Administration will require the site plan to be revised.

The revised site plan must show two (2) 30' channelized entrances along the frontage of the site.

This improvement is needed to provide safe and controlled access to the site by use of State Highway Administration channelization (S.H.A. concrete curb and gutter) that does not exist today.

The red lined plan also shows a 30' inconspicuous entrance with the adjoining owner to the south. If the inconspicuous entrance cannot be resolved with the adjoining owner the proposed State Highway Administration concrete curb and gutter must be constructed to the south property line.

It is requested the site plan be revised prior to a hearing date being set.

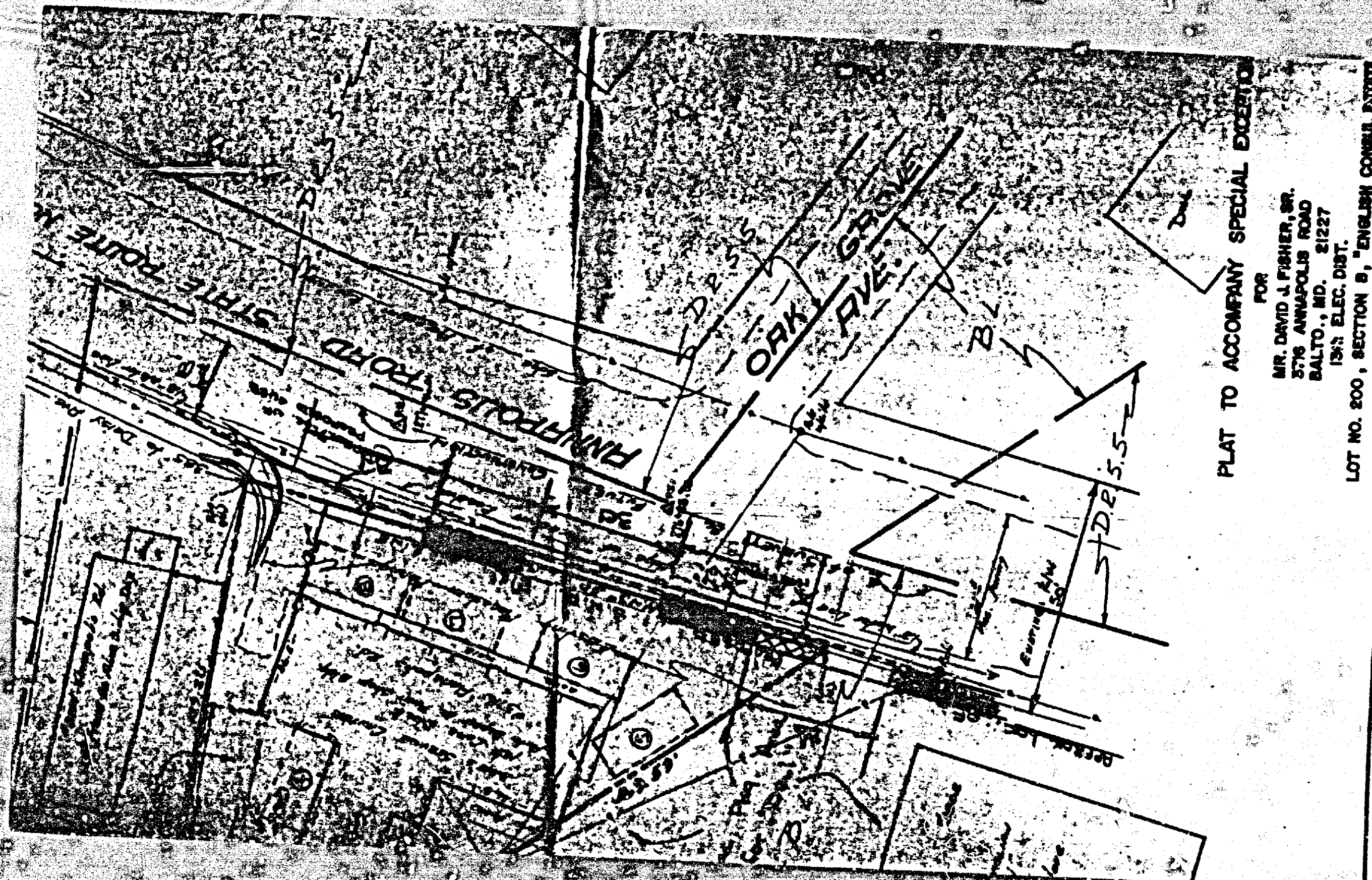
Very truly yours,

Charles Lee, Chief  
Bureau of Engineering  
Access Permits

By: George Wittman

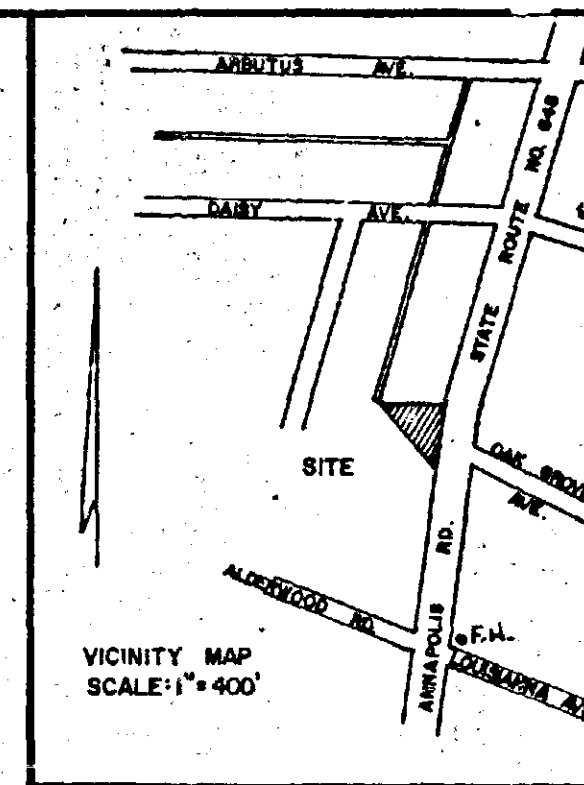
William H. Williams  
Director  
Mr. Ernest  
Assistant

Mr. Ernest  
Assistant  
Mr. Ernest  
Assistant



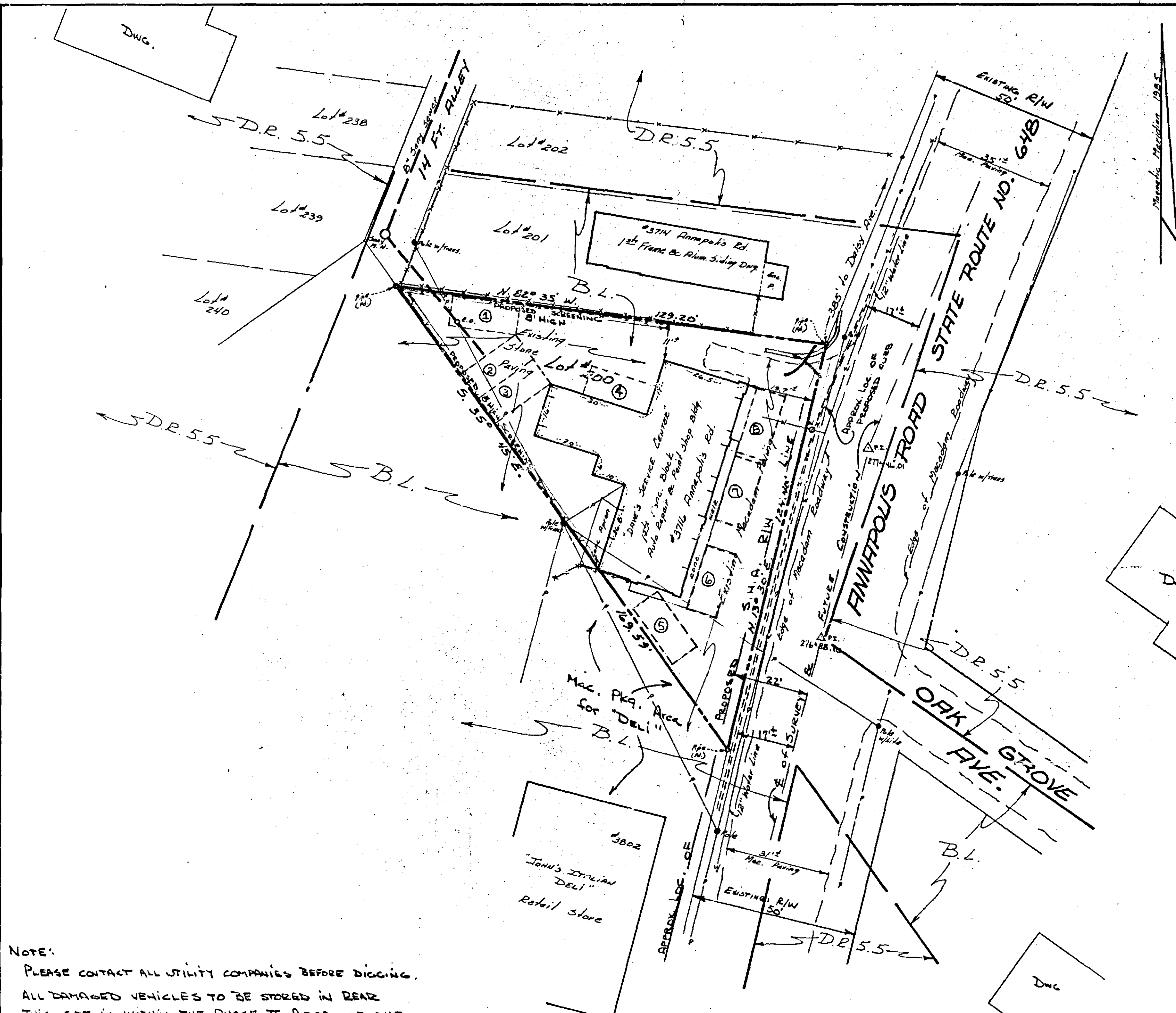
PLAT TO ACCOMPANY SPECIAL EXCEPTION  
FOR  
MR. DAVID J. FISHER, SR.  
378 ANAPOLIS RD.  
BALTO., MD. 21204  
13th DIST.  
LOT NO. 200, SECTION 8, TOWSON CORRAL ENTRY  
BALTO. CO. MAP 3709



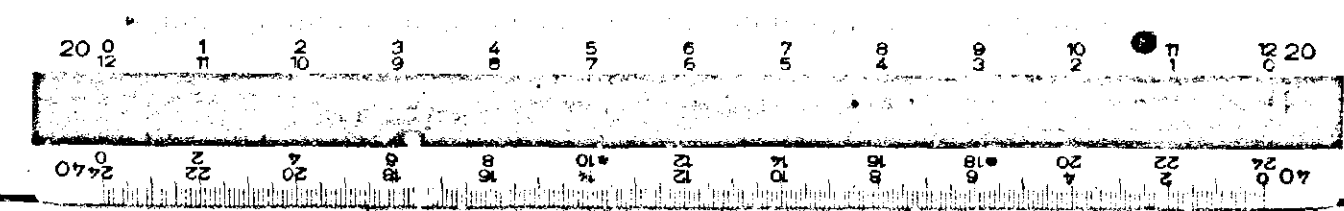


**GENERAL NOTES**

EXISTING ZONING	B.L.
AREA OF SITE	0.183 AC.±
FLOOR AREA OF BLDG	2283 sq. ft.
<b>PARKING DATA:</b>	
SPACES REQUIRED: $\frac{2283}{300}$	= 8
SPACES PROVIDED:	= 8
PKG SPACES SHOWN TRUS	③
PKG. SPACE SIZE	9' x 20'



**NOTE:**  
 PLEASE CONTACT ALL UTILITY COMPANIES BEFORE DIGGING.  
 ALL DAMAGED VEHICLES TO BE STORED IN REAR  
 THIS SITE IS WITHIN THE PHASE II AREA OF THE  
 S.H.A. IMPROVEMENT PLAN OF ANNAPOLIS RD.



**PETER ORR'S**  
**EXHIBIT 1**

86-272-X  
 SW 5B  
 2A  
 SCALE: 1" = 20'  
 DATE: Oct. 21<sup>st</sup>, 1985  
*Myr. Seesh*  
 REG. PROF. PROPT. L.S. NO. 67

**PLAT TO ACCOMPANY SPECIAL EXCEPTION**  
 FOR  
 MR. DAVID J. FISHER, SR.  
 3716 ANNAPOLIS ROAD  
 BALTO., MD. 21227  
 13th ELEC. DIST.  
 LOT NO. 200, SECTION B, "ENGLISH CONSUL ESTATES"  
 BALTO.CO., W.P.C. 3/109

**KELLER & KELLER**  
**LAND SURVEYORS**  
 3914 WOODLEA AVE.  
 BALTO., MD. 21206  
 301-483-5150



MAP 2A  
E.D. 13  
DATE 1/14/86  
200 12  
1000 12  
DP

86-272-X  
# 154

1-15-86  
86-272-X  
# 154

ORDER RECEIVED FOR FILING  
DATE 1/14/86  
BY [Signature]  
ADMINISTRATIVE SERVICES

# PETITION FOR SPECIAL EXCEPTION

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and, made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for (Repair and refinishing of automobiles and storage of same.) Service Garage

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser:

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner:

(Type or Print Name)

Signature

Address

City and State

Attorney's Telephone No.:

Legal Owner(s):

David J. Fisher, Sr.

(Type or Print Name)

Signature

Linda L. Fisher

(Type or Print Name)

Signature

Address

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

David J. Fisher, Sr.

Name

3716 Annapolis Rd. 789-5250

Address

Phone No.

ORDERED By The Zoning Commissioner of Baltimore County, this 26th day of November, 1985, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 13th day of January, 1986, at 10:00 o'clock

[Signature]  
Zoning Commissioner of Baltimore County.

(over)

MAP 2A  
E.D. 13  
DATE 1/14/86  
200 12  
1000 12  
DP

IN RE: PETITION SPECIAL EXCEPTION \* BEFORE THE  
W/S of Annapolis Road, 385' \* ZONING COMMISSIONER  
S of Daisy Avenue \* OF BALTIMORE COUNTY  
(3716 Annapolis Road) -  
13th Election District \*  
David J. Fisher, Sr., et ux, \* Case No. 86-272-X  
Petitioners \*

## FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Petitioners herein request a special exception for a service garage, as more particularly described on Petitioners' Exhibit 1.

The Petitioners appeared and testified. There were no Protestants.

Testimony indicated that the subject property, zoned B.L., and located on Annapolis Road, has been improved with a service garage since at least 1918. Indeed, the evidence was convincing that the service garage is nonconforming. There were photographs dating from 1929 showing the service garage with five bays, totaling 2,283 square feet, and the then owner. The Petitioners have been operating the business since their purchase of the property in 1971.

The property is triangular in shape and measures approximately 124 feet on Annapolis Road, its widest point, approximately 129 feet on the north property line, and approximately 170 feet on the south property line. A commercial use located to the south, i.e., John's Deli, permits the Petitioners to use an in-common entrance and also to park vehicles on its property to the west of both sites. To the north is a residence located on property zoned B.L.

The Petitioners seek relief from Section 230.13, pursuant to Section 502.3, Baltimore County Zoning Regulations (BCZR).

It is clear that the BCZR permits the use requested by the Petitioners in a B.L. Zone by special exception. It is equally clear that the proposed use

ORDER RECEIVED FOR FILING  
DATE 1/14/86  
BY [Signature]  
ADMINISTRATIVE SERVICES

would not be detrimental to the primary uses in the vicinity. Therefore, it must be determined whether the conditions as delineated by Section 502.1 are satisfied by the Petitioners.

After reviewing all of the testimony and evidence presented, it appears that the special exception should be granted with certain restrictions, as more fully described below.

The Petitioners had the burden of adducing testimony and evidence which would show that the proposed use met the prescribed standards and requirements set forth in Section 502.1. In fact, the Petitioners have shown that the proposed use would be conducted without real detriment to the neighborhood and would not adversely affect the public interest. The facts and circumstances do not show that the proposed use at the particular location described by Petitioners' Exhibit 1 would have any adverse impact above and beyond that inherently associated with such a special exception use, irrespective of its location within the zone. *Schultz v. Pritts*, 432 A.2d 1319 (1981).

The proposed use will not be detrimental to the health, safety, or general welfare of the locality, nor tend to create congestion in roads, streets, or alleys therein, nor be inconsistent with the purposes of the property's zoning classification, nor in any other way be inconsistent with the spirit and intent of the BCZR.

Pursuant to the advertisement, posting of property, and public hearing held, and it appearing that by reason of the requirements of Section 502.3 having been met and the health, safety, and general welfare of the community not being adversely affected, the special exception should be granted.

Therefore, IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 21st day of January, 1986, that the Petition for Special Exception

- 2 -

ORDER RECEIVED FOR FILING  
DATE 1/14/86  
BY [Signature]  
ADMINISTRATIVE SERVICES

for a service garage be and is hereby GRANTED, from and after the date of this Order, subject, however, to the following restrictions which are conditions precedent to the relief granted herein:

1. The Petitioners must obtain a written agreement from John's Deli which authorizes them to use its property for access and also to park undamaged and non-disabled, operable and driveable vehicles on the rear of its property.
2. A revised site plan, conforming to the concerns raised by the State Highway Administration and the County Department of Traffic Engineering in the Zoning Advisory Committee comments, shall be submitted to the Zoning Commissioner for approval.
3. The Petitioners shall satisfy Section 405A, BCZR, by erecting an eight-foot-high fence on the north and south property lines, as shown on Petitioners' Exhibit 1.

[Signature]  
Zoning Commissioner of Baltimore County

AJ/BL

cc: Mr. & Mrs. David J. Fisher, Sr.

People's Counsel

ORDER RECEIVED FOR FILING  
DATE 1/14/86  
BY [Signature]  
ADMINISTRATIVE SERVICES

- 3 -

PHONE: 483-5150

## KELLER & KELLER

State Registered Land Surveyors

City, Farm and Topographic Surveys  
Land & Seafloor Earthwork Computations

3914 WOODLEA AVENUE  
BALTIMORE, MARYLAND 21208

ZONING DESCRIPTION

Sept. 18th, 1985

for

SPECIAL EXCEPTION

# 3716 Annapolis Road

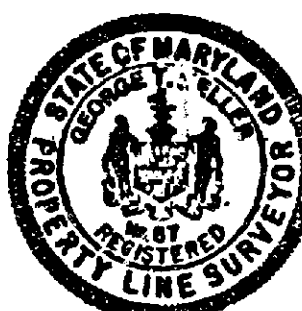
BEGINNING at a point on the West side of Annapolis Rd. at the distance of 385' measured southerly from the South side of Daisy Ave.; thence leaving said Annapolis Rd. and running N. 82°35' W. 129.2' to a point; thence S. 35°45' E. 169.6' to intersect the said West side of Annapolis Rd.; thence binding along the said West side of Annapolis Rd. N. 13°30' E. 124.4' to the place of beginning.

CONTAINING 0.183 Acres of land more or less.

BEING known and designated as Lot No. 200 as shown on the Plat of part of

Section B, "ENGLISH CONSUL ESTATE", Balto. Co. Plat Book W.P.C.

No. 3, folio 109



[Signature]  
George T. Keller  
Reg. Prof. Propt.L.S.No.67

OFFICE COPY

## PETITION FOR SPECIAL EXCEPTION

13th Election District

LOCATION: West side of Annapolis Road, 385 feet South of Daisy Avenue (3716 Annapolis Road)

DATE AND TIME: Monday, January 13, 1986 at 10:00 a.m.

PUBLIC HEARING: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a service garage.

Being the property of David J. Fisher, Sr., et ux as shown on the plat filed with the Zoning Office.

In the event that this Petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be received in writing by the date of the hearing set above or made at the hearing.

BY ORDER OF  
ARNOLD JABLON  
ZONING COMMISSIONER  
OF BALTIMORE COUNTY

RE: PETITION FOR SPECIAL EXCEPTION : BEFORE THE ZONING COMMISSIONER  
W/S Annapolis Rd., 385' S of Daisy Ave. (3716 Annapolis Rd.) : OF BALTIMORE COUNTY  
13th District

DAVID J. FISHER, SR., et ux, Case No. 86-272-X  
Petitioners

## ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notices should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

[Signature]  
Phyllis Cole Friedman  
Phyllis Cole Friedman  
People's Counsel for Baltimore County

[Signature]  
Peter Max Zimmerman  
Peter Max Zimmerman  
Deputy People's Counsel  
Rm. 223, Court House  
Towson, MD 21204  
494-2188

I HEREBY CERTIFY that on this 17th day of December, 1985, a copy was mailed to Mr. and Mrs. David J. Fisher, Sr., 3716 Annapolis Rd., Baltimore, MD 21227, Petitioners.

[Signature]  
Peter Max Zimmerman  
Peter Max Zimmerman

1 JAN 1986



Pursuant to the advertisement, posting of property, and public hearing on the Petition and it appearing that by reason of the requirements of Section 502.1 of the Baltimore County Zoning Regulations

BALTIMORE COUNTY  
OFFICE OF PLANNING & ZONING  
TOWSON, MARYLAND 21204  
494-3353

ARNOLD JABLON  
ZONING COMMISSIONER

JEAN M. H. JUNG  
DEPUTY ZONING COMMISSIONER

January 2, 1985

Mr. and Mrs. David J. Fisher, Sr.  
3716 Annapolis Road  
Baltimore, Maryland 21227

Re: Petition for Special Exception  
W/S Annapolis Road, 385' S of Daisy Avenue  
(3716 Annapolis Road) - 13th Election District  
David J. Fisher, Sr., et ux. - Petitioners  
Case No. 86-272-X

Dear Mr. and Mrs. Fisher:

This is to advise you that \$46.53 is due for advertising and posting of the above property. This fee must be paid before an Order is issued.

THIS FEE MUST BE PAID AND THE ZONING SIGN AND POST RETURNED ON THE DAY OF THE HEARING OR THE ORDER SHALL NOT BE ISSUED.

Do not remove sign from property from the time it is placed by this office until the day of the hearing itself.

Please make the check payable to Baltimore County, Maryland, and remit to the Zoning Department, Baltimore County, Maryland, and remit to the Zoning Department, Baltimore County, Maryland.

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT  
No. 018402

DATE 1-13-86 ACCOUNT R-01-615-000

AMOUNT \$ 46.53

RECEIVED FROM David Fisher, Sr. et ux.

FOR Advertising & Posting 86-272-X

9-8311\*\*\*\*\*1000018 9226F

VALIDATION OR SIGNATURE OF CASHIER

PETITION FOR SPECIAL EXCEPTION  
13th Election District  
LOCATION: West side of Annapolis Rd., 385' S of Daisy Ave. (3716 Annapolis Rd.)  
DATE AND TIME: Monday, January 13, 1986 at 10:00 a.m.  
PUBLIC HEARING: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland  
The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Department of the Zoning Commission, is hereby giving notice that a Petition for Special Exception for a building permit may be heard within the thirty (30) day period. The Zoning Commission will, however, entertain any request for a stay of the hearing of said petition during this period for good cause shown. Such request must be received in writing by the date of the hearing or shown or made at the hearing.  
By Order of  
ARNOLD JABLON,  
Zoning Commissioner  
of Baltimore County.  
Dec. 26

# CERTIFICATE OF PUBLICATION

TOWSON, MD., December 26 19 85

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper printed and published in Towson, Baltimore County, Md., appearing on December 26 19 85.

THE JEFFERSONIAN,

Cost of Advertising

24.75

# CERTIFICATE OF POSTING

ZONING DEPARTMENT OF BALTIMORE COUNTY  
Towson, Maryland

District 13th Date of Posting 12-24-85

Posted for: Special Exception

Petitioner: David J. Fisher, Sr. et ux.

Location of property: W/S of Annapolis Road, 385' S of Daisy Ave. (3716 Annapolis Road)

Location of Sign: Close front of subject property 3716 Annapolis Rd.

Remarks: A.D. Poster

Posted by: A.D. Poster Date of return: January 3-86

Number of Signs: 4

Mr. and Mrs. David J. Fisher, Sr.  
3716 Annapolis Road  
Baltimore, Maryland 21227

December 13, 1985

## NOTICE OF HEARING

PETITION FOR SPECIAL EXCEPTION  
W/S Annapolis Rd., 385' S of Daisy Ave.  
(3716 Annapolis Road) - 13th Elec. Dist.  
David J. Fisher, Sr., et ux. - Petitioners  
Case No. 86-272-X

TIME: 10:00 a.m.

DATE: Monday, January 13, 1986

PLACE: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland

BALTIMORE COUNTY, MARYLAND  
OFFICE OF FINANCE - REVENUE DIVISION  
MISCELLANEOUS CASH RECEIPT  
No. 012341

DATE 1/12/86 ACCOUNT R-01-615-000

AMOUNT \$ 100.00

RECEIVED FROM George Killop

FOR 1/12/86 #15K

9-8311\*\*\*\*\*1000018 9226F

VALIDATION OR SIGNATURE OF CASHIER

David J. Fisher, Sr.

DAVE'S SERVICE CENTER  
Good Products... Great Service

3716 ANNA-OLIS ROAD  
BALTIMORE, MD. 21227

February 21, 1985

Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Mr. Arnold Jablon:

Re: Case No. 86-272-X

Enclosed is a letter satisfying restriction No. 1, for granting of Special Exception Zoning.

Sincerely,

David J. Fisher, Sr., et ux.

David J. Fisher, Sr.

DAVE'S SERVICE CENTER  
Good Products... Great Service

3716 ANNAPOLIS ROAD  
BALTIMORE, MD. 21227

Permission is hereby granted to Dave's Service Center to use property belonging to the establishment known as John's Italian Deli, located at 3802 Annapolis Road, for access and also to park undamaged and non-disabled, operable and driveable vehicles on the rear of its property.

John W. Langer  
John's Italian Deli

2/10/86

David J. Fisher, Sr.  
Dave's Service Center

2-17-86

cc: JID  
BSC

BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE CORRESPONDENCE

Michael S. Flannigan

TO: Department of Traffic Engineering Date: March 10, 1986

Arnold Jablon

FROM: Zoning Commissioner

Case No. 86-272-X

SUBJECT: David J. Fisher, Sr., et ux., Petitioners

If the attached plan is acceptable to you and the State Highway Administration, please let me know.

AJ/srl

Attachment

RECEIVED

MAR 11 1986

TRAFFIC ENGINEERING

JUN 7 1987



# BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE CORRESPONDENCE

TO: James E. Dyer, \_\_\_\_\_ Date: October 22, 1985  
 FROM: James H. Thompson, \_\_\_\_\_  
 David J. and Linda Lee Fisher, Petitioners  
 SUBJECT: Item No. 154

Please note that the above subject petition is an active violation case, C-85-876. When this matter is scheduled for a hearing, please notify:

Alice Marsh  
 3714 Annapolis Road  
 Baltimore, Maryland 21227

JHT:ach

# BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE CORRESPONDENCE

Arnold Jablon \_\_\_\_\_ Date: December 30, 1985  
 TO: Zoning Commissioner  
 Norman E. Gerber, AICP, Director  
 FROM: Office of Planning and Zoning  
 SUBJECT: Zoning Petition No. 86-272-X

Assuming compliance with the comments of the Zoning Plans Advisory Committee, this office is not opposed to the granting of the subject request.

Norman E. Gerber, AICP  
 Director

NEC:JCH:slm

Case No. 85-272-X

## BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building  
 111 W. Chesapeake Avenue  
 Towson, Maryland 21204

Your petition has been received and accepted for filing this  
 26th day of November, 1985

Arnold Jablon  
 Zoning Commissioner

Petitioner David J. Fisher, Sr., et ux Received by: James E. Dyer  
 Petitioner's Attorney Chairman, Zoning Plans Advisory Committee

## BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

December 11, 1985

COUNTY OFFICE BLDG.  
 111 W. Chesapeake Ave.  
 Towson, Maryland 21204

Mr. and Mrs. David J. Fisher, Sr.  
 3716 Annapolis Road  
 Baltimore, Maryland 21227

RE: Item No. 154 - Case No. 86-272-X  
 Petitioners - David J. Fisher, Sr., et ux  
 Special Exception Petition

Dear Mr. and Mrs. Fisher:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above-referenced petition. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

Enclosed are all comments submitted from the members of the Committee at this time that offer or request information on your petition. If similar comments from the remaining members are received, I will forward them to you. Otherwise, any comment that is not informative will be placed in the hearing file. This petition was accepted for filing on the date of the enclosed filing certificate and a hearing scheduled accordingly.

Very truly yours,

James E. Dyer  
 Chairman  
 Zoning Plans Advisory Committee

JED:mr

Enclosures

cc: Keller & Keller  
 5914 Woodlea Avenue  
 Baltimore, Maryland 21206



November 13, 1985

Mr. A. Jablon  
 Zoning Commissioner  
 County Office Building  
 Towson, Maryland 21204

Attn: Mr. James Dyer

Re: ZAC Meeting of 11-5-85  
 ITEM: #154  
 Property Owner: David J. Fisher, Sr.  
 et ux  
 Location: W/S Annapolis Road,  
 Route 648, 385 feet S of Daisy Ave.  
 Existing Zoning: B.L.  
 Proposed Zoning: Special Exception  
 for a service garage  
 Acres: .183 acres  
 District: 13th Election District

Dear Mr. Jablon:

On review of the submittal of 10-21-85 and field inspection, the State Highway Administration will require the site plan to be revised.

The revised site plan must show two (2) 30' channelized entrances along the frontage of the site.

This improvement is needed to provide safe and controlled access to the site by use of State Highway Administration channelization (S.H.A. concrete curb and gutter) that does not exist today.

The red lined plan also shows a 30' uncommon entrance with the adjoining owner to the south. If the uncommon access cannot be resolved with the adjoining owner the proposed State Highway Administration concrete curb and gutter must be constructed to the south property line.

It is requested the site plan be revised prior to a hearing date being set.

Very truly yours,

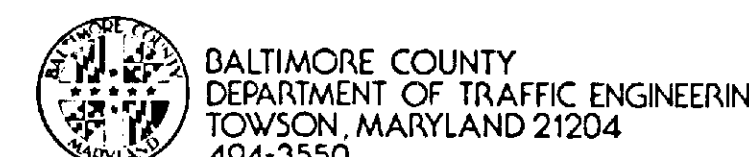
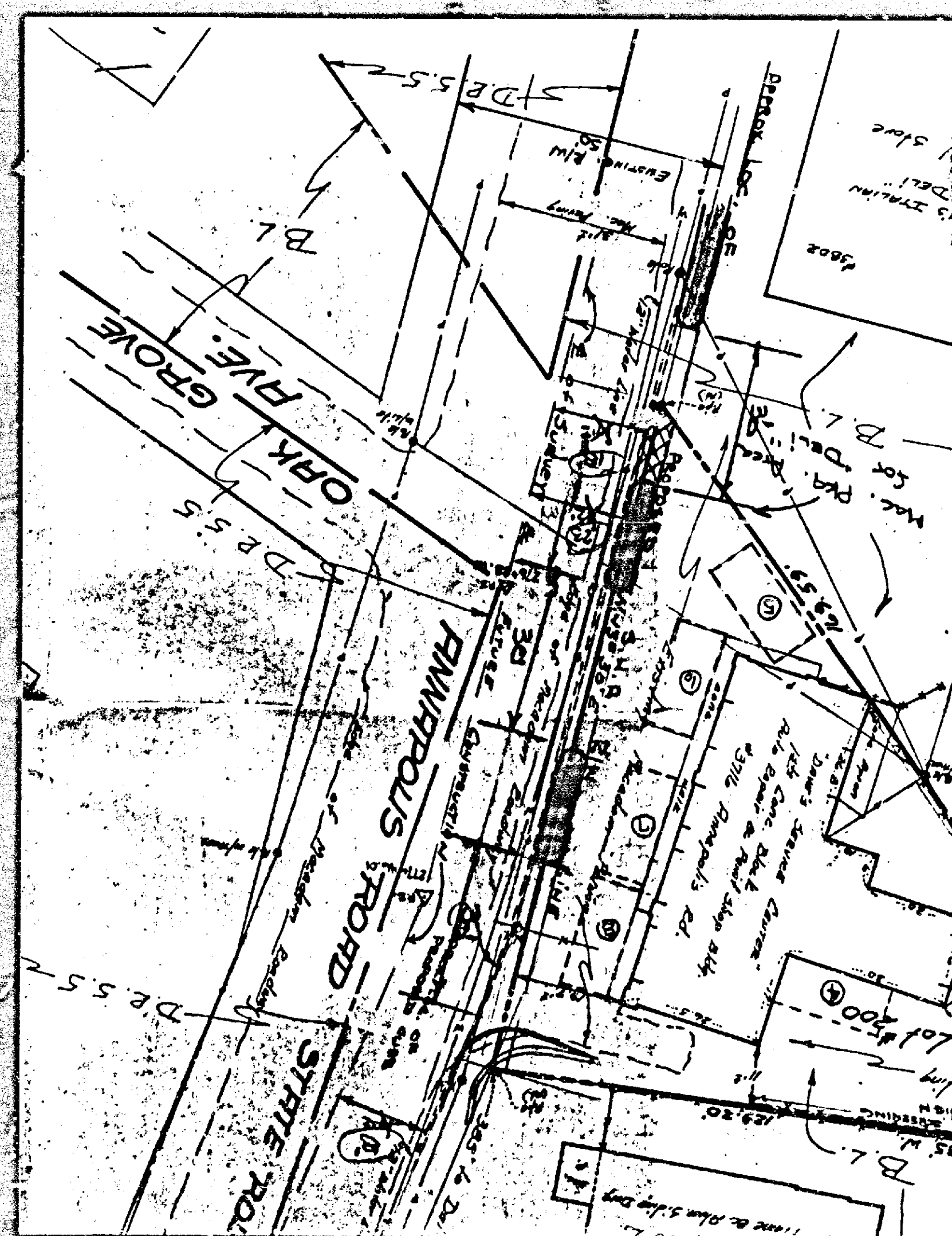
Charles Lee, Chief  
 Bureau of Engineering  
 Access Permits

By: George Wittman

CL:GW:maw

cc: Keller & Keller  
 Mr. J. Ogilvie

By telephone number is (301) 659-1350  
 Typewriter for Impaired Hearing or Speech  
 383-7555 Baltimore Metro - 565-0451 D.C. Metro - 1-800-492-5082 Statewide Toll Free  
 P.O. Box 717 707 North Calvert St., Baltimore, Maryland 21203 - 0717



STEPHEN E. COLLINS  
 DIRECTOR

November 18, 1985

Mr. Arnold Jablon  
 Zoning Commissioner  
 County Office Building  
 Towson, Maryland 21204

Item No. -ZAC- Meeting of November 5, 1985  
 Property Owner: 154  
 Location: David J. Fisher, Sr., et ux  
 W/S Annapolis Road, 385 ft. S of Daisy Avenue  
 Existing Zoning: B.L.  
 Proposed Zoning: Special Exception for a service garage

Acres: .183  
 District: 13th

Dear Mr. Jablon:

This department has reviewed the submitted site plans and has the following comments:

1. Parking - parking spaces #1, 2, 3, 4, & 5 do not meet county standards because they do not have a proper turn around area; parking spaces #5, 6, & 7 fail to meet county standards because they block the doors to the garage.
2. A sidewalk should be provided along the frontage of the site.
3. Annapolis Road is a state road and all entrance must be approved by the State Highway Administration.

Michael S. Flanagan  
 Traffic Engineer Associate II

MSF/bld

Nov. 6, 1985  
 Date

## BALTIMORE COUNTY DEPARTMENT OF HEALTH

Zoning Commissioner  
 Office of Planning and Zoning  
 County Office Building  
 Towson, Maryland 21204

Zoning Item # 154, Zoning Advisory Committee Meeting of Nov. 5, 1985

Property Owner: David J. Fisher, Sr.

Location: W/S Annapolis Rd, 385 ft S of Daisy Ave District: 13th

Water Supply: Public Sewage Disposal: Public

COMMENTS ARE AS FOLLOWS:

- ( ) Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for any existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Environmental Support Services, for final review and approval.
- ( ) Prior to new installation/s of fuel burning equipment, the owner should contact the Division of Air Pollution Control, 494-3775, to obtain requirements for such installation/s before work begins.
- (X) A permit to construct from the Division of Air Pollution Control is required for such items as spray paint processes, underground gasoline storage tank/s (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.
- ( ) A permit to construct from the Division of Air Pollution Control is required for any charcoal burner operation which has a total cooking surface area of five (5) square feet or more.
- ( ) Prior to approval of a Building Permit Application for renovations to existing or construction of new health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval.
- ( ) Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewerage facilities or other appliances pertaining to health and safety, two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Health for review and approval. For more complete information, contact the Recreational Hygiene Section, Division of Environmental Support Services.
- ( ) Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulations. For more complete information, contact the Division of Maternal and Child Health.
- (X) If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with Water Resources Administration requirements.

SS 20 1082 (1)

1 JAN 1986



Zoning Item # 154 Zoning Advisory Committee Meeting of Nov. 5, 1985  
Page 2

- ( ) Prior to making of existing structure/s, petitioner must contact the Division of Water Quality and Waste Management at 494-3768, regarding removal and/or disposal of potentially hazardous materials and solid wastes.
- (X) Any abandoned underground storage tanks containing gasoline, waste oil, solvents, etc., must have the contents removed by a licensed hauler and either be removed from the property or properly backfilled. Prior to removal or abandonment, owner must contact the Division of Water Quality and Waste Management at 494-3768.
- ( ) Soil percolation tests (have been/must be) conducted.  
( ) The results are valid until \_\_\_\_\_.  
( ) Soil percolation test results have expired. Petitioner should contact the Division of Environmental Support Services to determine whether additional tests are required.
- ( ) Where water wells are to be used as a source of water supply, a well meeting the minimum Baltimore County Standards must be drilled.
- ( ) In accordance with Section 13-117 of the Baltimore County Code, the water well yield test \_\_\_\_\_ shall be valid until \_\_\_\_\_ is not acceptable and must be retested. This must be accomplished prior to conveyance of property and approval of Building Permit Application.
- ( ) Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples.
- ( ) If submission of plans to the County Review Group is required, a Hydrogeological Study and an Environmental Effects Report must be submitted.
- ( ) Others \_\_\_\_\_

*[Signature]*  
Jan J. Forrester, Director  
BUREAU OF ENVIRONMENTAL SERVICES

SS 20 1283 (2) B

BALTIMORE COUNTY  
FIRE DEPARTMENT  
TOWSON, MARYLAND 21204-2586  
494-4500

PAUL H. REINKE  
CHIEF

November 21, 1985

Mr. Arnold Jablon  
Zoning Commissioner  
Office of Planning and Zoning  
Baltimore County Office Building  
Towson, Maryland 21204

Attention: Nick Commodari, Chairman  
Zoning Plans Advisory Committee

RE: Property Owner: David J. Fisher, Sr., et ux

Location: W/S Annapolis Road, 385' S. of Daisy Avenue

Item No.: 154 Zoning Agenda: Meeting of November 5, 1985

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- (X) 1. Fire hydrants for the referenced property are required and shall be located at intervals of 300 feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

- ( ) 2. A second means of vehicle access is required for the site.

- ( ) 3. The vehicle dead end condition shown at \_\_\_\_\_

EXCEEDS the maximum allowed by the Fire Department.

- ( ) 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.

- (X) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 edition prior to occupancy.

- ( ) 6. S... plans are approved, as drawn.

- ( ) 7. The Fire Prevention Bureau has no comment at this time.

REVIEWER: *[Signature]* Noted and Approved: *[Signature]*  
Planning Group Fire Prevention Bureau  
Special Inspection Division

/mb

BALTIMORE COUNTY  
DEPARTMENT OF PERMITS & LICENSES  
TOWSON, MARYLAND 21204  
494-3610

December 6, 1985

TED ZALESKI, JR.  
DIRECTOR

Mr. Arnold Jablon, Zoning Commissioner  
Office of Planning and Zoning  
Towson, Maryland 21204

Dear Mr. Jablon:

Comments on Item # 154 Zoning Advisory Committee Meeting are as follows:

Property Owner: David J. Fisher, Sr., et ux  
Location: W/S Annapolis Road, 385 feet S of Daisy Avenue  
13th.

Revised:

APPLICABLE ITEMS ARE CIRCLED:

- (1) All structures shall conform to the Baltimore County Building Code as adopted by Council Bill #17-85, the Maryland Code for the Landscaping and Aged (A.L.D.L. #17-85) and other applicable Code and Standards.

- B. A building and other miscellaneous permits shall be required before the start of any construction.

- C. Residential: Two sets of construction drawings are required to file a permit application. The seal of a registered in Maryland Architect or Engineer is/are not required to plans and technical data.

- D. Commercial: Three sets of construction drawings sealed and signed by a registered in Maryland Architect or Engineer shall be required to file with a permit application. Reproduced seals are not acceptable.

- E. All Use Groups except B-4 Single Family Detached Dwellings require a minimum of 1 hour fire rating for exterior walls closer than 6'-0" to an interior lot line. B-4 Use Groups require a one hour wall if closer than 3'-0" to an interior lot line. Any wall built on an interior lot line shall require a fire or party wall. See Table 101, Section 101.7, Section 106.2 and Table 102.5. No openings are permitted in an exterior wall within 3'-0" of an interior lot line.

- F. The structure does not appear to comply with Table 505 for permissible height/area. Reply to the requested variance by this office cannot be considered until the necessary data pertaining to height/area and construction type is provided. See Table 101 and 505 and have your Architect/Engineer contact this department.

- G. The requested variance appears to conflict with Section(s) \_\_\_\_\_ of the Baltimore County Building Code.

- H. When filing for a required Change of Use/Competition Permit, an attention permit application shall also be filed along with these sets of acceptable construction plans indicating how the existing structure is to be altered in order to comply with the Code requirements for the new use. Revised Architectural or Engineer seals are usually required. The change of the Groups are from Use \_\_\_\_\_ to Use \_\_\_\_\_ or to Mixed Use \_\_\_\_\_ See Section 102 of the Building Code.

- I. The proposed project appears to be located in a Flood Plain, Flood Hazard Area. Please see the attached copy of Section 245.0 of the Building Code as adopted by Bill #17-85, with plans shall show the correct elevations above sea level for the lot and the finished floor levels including basement.

- (1) Comments: It appears Section 103.0 as amended by Bill #17-85 may be applicable. However, fire or life safety violations should there be any, shall be corrected.

- K. These abbreviated comments reflect only on the information provided by the drawings submitted to the Office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired the applicant may obtain additional information by visiting Room 102 of the County Office Building 111 W. Chesapeake Avenue, Towson, Maryland 21204.

*[Signature]*  
St. C. E. Burman, Jr.  
Building Plans Review

L/27/85

BALTIMORE COUNTY  
OFFICE OF PLANNING AND ZONING  
TOWSON, MARYLAND 21204  
494-3610

Mr. Arnold Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

DECEMBER 13, 1985

RE: Zoning Advisory Meeting of November 5, 1985  
Item # 154  
Property Owner: DAVID J. FISHER, SR. ET UX  
Location: W/S ANAPOLIS RD. 385' S. OF DAISY AVE.

Dear Mr. Jablon:

The Division of Current Planning and Development has reviewed the subject petition and offers the following comments. The items checked below are applicable.

- (X) There are no site planning factors requiring comment.  
(X) A County Review Group meeting was held and the minutes will be forwarded by the Bureau of Public Services.  
( ) This site is part of a larger tract; therefore it is defined as a subdivision. The plan must show the entire tract.  
(X) A record plat will be required and must be recorded prior to issuance of a building permit.  
(X) The access is not satisfactory.  
(X) The circulation on this site is not satisfactory.  
(X) The parking arrangement is not satisfactory.  
(X) The parking calculations must be shown on the plan.  
(X) This property contains soils which are defined as wetlands, and development on these soils is prohibited.  
(X) Construction in or alteration of the floodplain is prohibited under the provisions of Section 22-58 of the Development Regulations.  
(X) Development of this site may constitute a potential conflict with the Baltimore County Master Plan.  
(X) The amended Development Plan was approved by the Planning Board on \_\_\_\_\_.  
(X) Understanding: Must comply with Baltimore County Landscape Manual, Bill 178-79. No building permit may be issued until a Reserve Capacity Use Certificate has been issued. The deficient service is \_\_\_\_\_.  
(X) The property is located in a traffic area controlled by a "T" level intersection as defined by Bill 178-79, and as conditions change the intersection shall be re-evaluated annually by the County Council.  
( ) Additional comments: \_\_\_\_\_

cc: James Hoswell

Eugene A. Rober  
Chief, Current Planning and Development

BALTIMORE COUNTY  
DEPARTMENT OF TRAFFIC ENGINEERING  
TOWSON, MARYLAND 21204  
494-3550

STEPHEN E. COLLINS  
DIRECTOR

March 12, 1986

Mr. Arnold Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Item No. 154 -ZAC-  
Property Owner: David J. Fisher, Sr., et ux  
Location: W/S Annapolis Road, 385 ft. S Daisy Avenue  
Existing Zoning: B.L.  
Proposed Zoning: Special Exception for a service garage

Acres: .183  
District: 13th

Dear Mr. Jablon:

The site plan for item #154 appears to be satisfactory.

*[Signature]*  
Richard S. Alanson  
Traffic Engineer Associate II

MSP/bld

Maryland Department of Transportation  
State Highway Administration

William H. Williams  
Director  
Mr. Ernest  
Assistant

November 13, 1985

Mr. A. Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Attn: Mr. James Dyer

Dear Mr. Jablon:

On review of the submittal of 10-21-85 and field inspection the State Highway Administration will require the site plan to be revised.

The revised site plan must show two (2) 30' channelized entrances along the frontage of the site.

This improvement is needed to provide safe and controlled access to the site by use of State Highway Administration channelization (S.H.A. concrete curb and gutter) that does not exist today.

The red lined plan also shows a 30' inconspicuous entrance with the adjoining owner to the south. If the inconspicuous entrance cannot be resolved with the adjoining owner the proposed State Highway Administration concrete curb and gutter must be constructed to the south property line.

It is requested the site plan be revised prior to a hearing date being set.

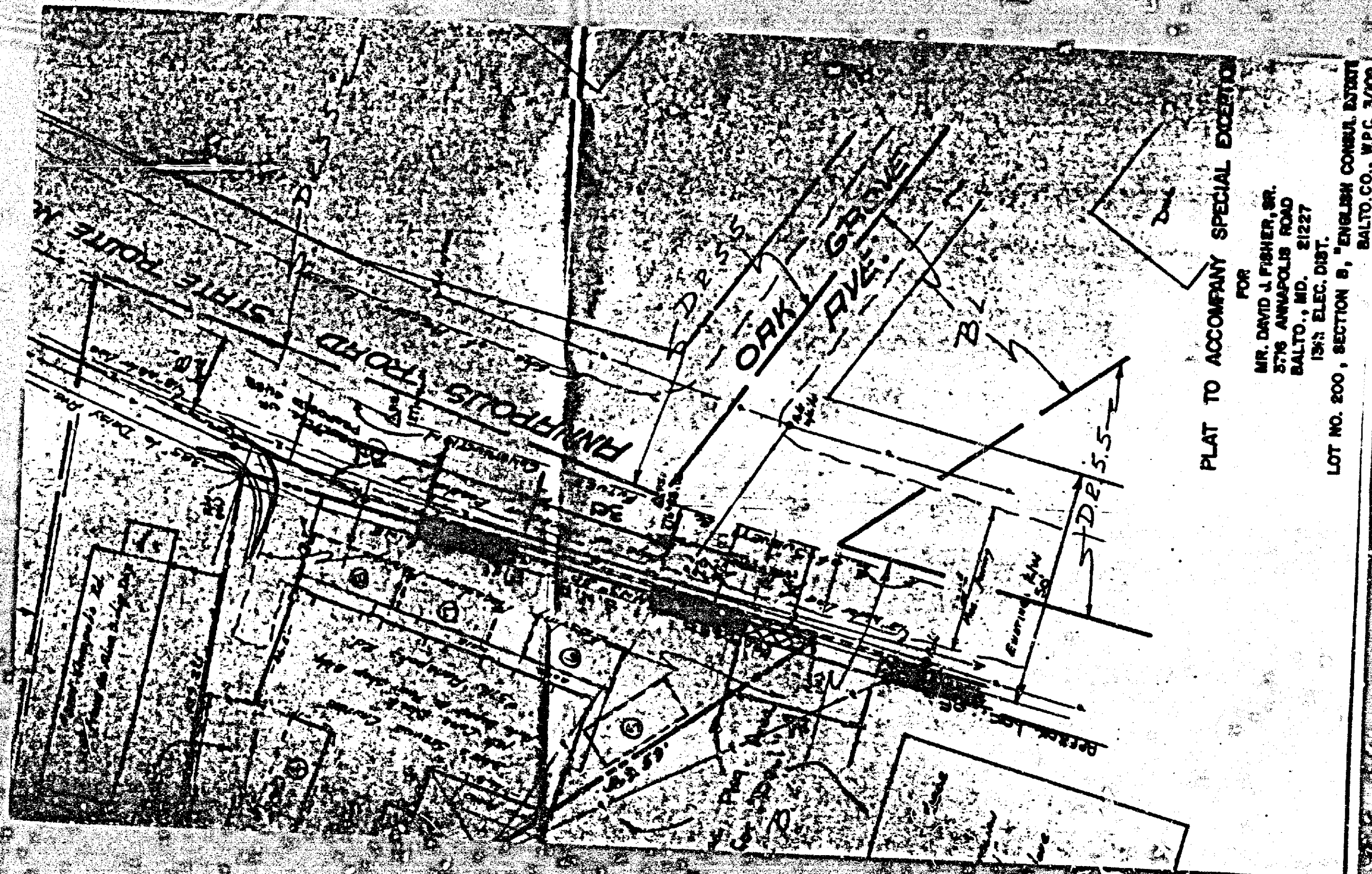
Very truly yours,

Charles Lee, Chief  
Bureau of Engineering  
Access Permits

By: George Wittman

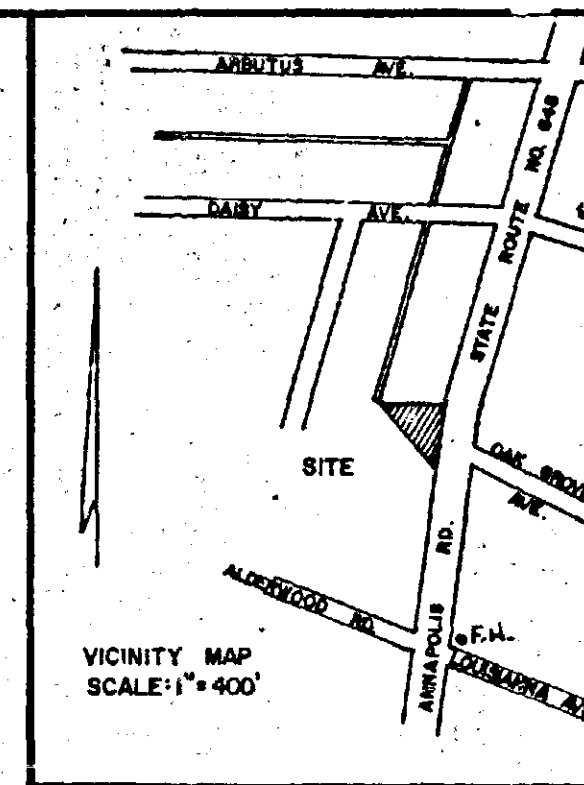
William H. Williams  
Director  
Mr. Ernest  
Assistant

Mr. Ernest  
Assistant  
Mr. Ernest  
Assistant



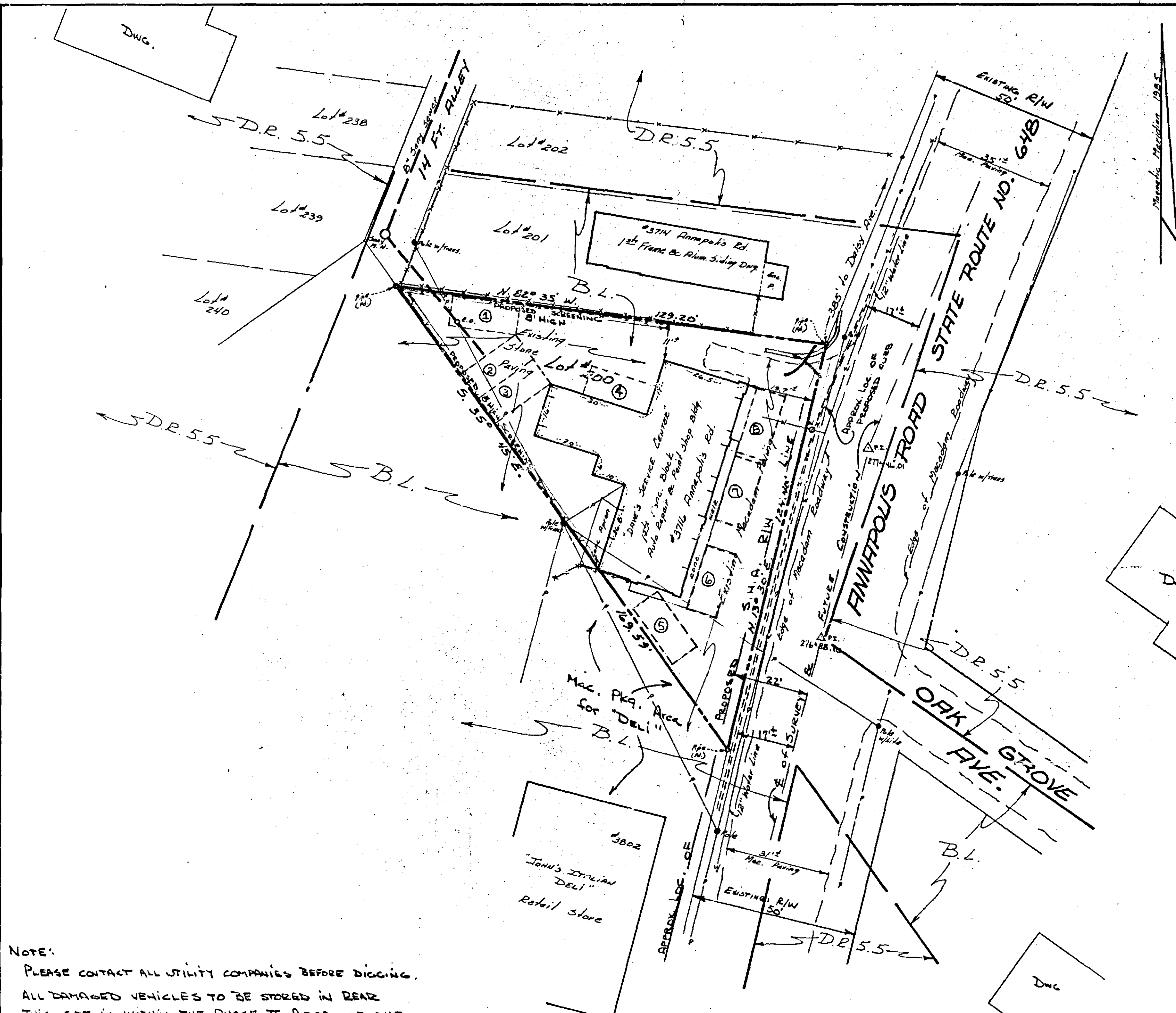
PLAT TO ACCOMPANY SPECIAL EXCEPTION  
FOR  
MR. DAVID J. FISHER, SR.  
378 ANAPOLIS RD.  
BALTO., MD. 21204  
13th ELEC. DIST.  
LOT NO. 200, SECTION 8, TOWSON CORRAL ENTRY  
BALTO. CO. MAP 3709



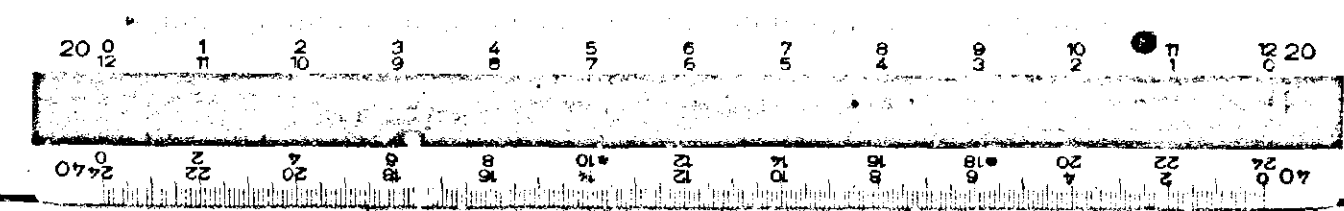


**GENERAL NOTES**

EXISTING ZONING	B.L.
AREA OF SITE	0.183 AC.±
FLOOR AREA OF BLDG	2283 sq. ft.
<b>PARKING DATA:</b>	
SPACES REQUIRED: $\frac{2283}{300}$	= 8
SPACES PROVIDED:	= 8
PKG SPACES SHOWN TRUS	③
PKG. SPACE SIZE	9' x 20'



**NOTE:**  
 PLEASE CONTACT ALL UTILITY COMPANIES BEFORE DIGGING.  
 ALL DAMAGED VEHICLES TO BE STORED IN REAR  
 THIS SITE IS WITHIN THE PHASE II AREA OF THE  
 S.H.A. IMPROVEMENT PLAN OF ANNAPOLIS RD.



**PETER ORR'S  
 EXHIBIT 1**

86-272-X  
 SW 5B  
 2A  
 SCALE: 1" = 20'  
 DATE: Oct. 21<sup>st</sup>, 1985  
*Myr. Seesh*  
 REG. PROF. PROPT. L.S. NO. 67

**PLAT TO ACCOMPANY SPECIAL EXCEPTION**  
 FOR  
 MR. DAVID J. FISHER, SR.  
 3716 ANNAPOLIS ROAD  
 BALTO., MD. 21227  
 13th ELEC. DIST.  
 LOT NO. 200, SECTION B, "ENGLISH CONSUL ESTATES"  
 BALTO.CO., W.P.C. 3/109

**KELLER & KELLER  
 LAND SURVEYORS**  
 3914 WOODLEA AVE.  
 BALTO., MD. 21206  
 301-483-5150



MAP 2A  
E.D. 13  
DATE 12/16/85  
200 12/16  
1000 12/16  
DP

86-272-X  
# 154

1-15-86  
86-272-X  
# 154

ORDER RECEIVED FOR FILING  
DATE 12/16/85  
BY [Signature]  
ADMINISTRATIVE SERVICES

# PETITION FOR SPECIAL EXCEPTION

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and, made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for (Repair and refinishing of automobiles and storage of same.) Service Garage

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser: (Type or Print Name) Signature Address City and State	Legal Owner(s): David J. Fisher, Sr. (Type or Print Name) Signature Linda L. Fisher (Type or Print Name) Signature Address City and State	Attorney for Petitioner: (Type or Print Name) Signature Address City and State	Attorney's Telephone No.: Name Address City and State
---	---	--	--

ORDERED By The Zoning Commissioner of Baltimore County, this 26th day of November, 1985, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 13th day of January, 1986, at 10:00 o'clock

[Signature]  
Zoning Commissioner of Baltimore County.  
(over)

IN RE: PETITION SPECIAL EXCEPTION \* BEFORE THE  
W/S of Annapolis Road, 385' \* ZONING COMMISSIONER  
S of Daisy Avenue \* OF BALTIMORE COUNTY  
(3716 Annapolis Road) -  
13th Election District \*  
David J. Fisher, Sr., et ux, \* Case No. 86-272-X  
Petitioners \*

## FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Petitioners herein request a special exception for a service garage, as more particularly described on Petitioners' Exhibit 1.

The Petitioners appeared and testified. There were no Protestants.

Testimony indicated that the subject property, zoned B.L., and located on Annapolis Road, has been improved with a service garage since at least 1918. Indeed, the evidence was convincing that the service garage is nonconforming. There were photographs dating from 1929 showing the service garage with five bays, totaling 2,283 square feet, and the then owner. The Petitioners have been operating the business since their purchase of the property in 1971.

The property is triangular in shape and measures approximately 124 feet on Annapolis Road, its widest point, approximately 129 feet on the north property line, and approximately 170 feet on the south property line. A commercial use located to the south, i.e., John's Deli, permits the Petitioners to use an in-common entrance and also to park vehicles on its property to the west of both sites. To the north is a residence located on property zoned B.L.

The Petitioners seek relief from Section 230.13, pursuant to Section 502.3, Baltimore County Zoning Regulations (BCZR).

It is clear that the BCZR permits the use requested by the Petitioners in a B.L. Zone by special exception. It is equally clear that the proposed use

would not be detrimental to the primary uses in the vicinity. Therefore, it must be determined whether the conditions as delineated by Section 502.1 are satisfied by the Petitioners.

After reviewing all of the testimony and evidence presented, it appears that the special exception should be granted with certain restrictions, as more fully described below.

The Petitioners had the burden of adducing testimony and evidence which would show that the proposed use met the prescribed standards and requirements set forth in Section 502.1. In fact, the Petitioners have shown that the proposed use would be conducted without real detriment to the neighborhood and would not adversely affect the public interest. The facts and circumstances do not show that the proposed use at the particular location described by Petitioners' Exhibit 1 would have any adverse impact above and beyond that inherently associated with such a special exception use, irrespective of its location within the zone. *Schultz v. Pritts*, 432 A.2d 1319 (1981).

The proposed use will not be detrimental to the health, safety, or general welfare of the locality, nor tend to create congestion in roads, streets, or alleys therein, nor be inconsistent with the purposes of the property's zoning classification, nor in any other way be inconsistent with the spirit and intent of the BCZR.

Pursuant to the advertisement, posting of property, and public hearing held, and it appearing that by reason of the requirements of Section 502.3 having been met and the health, safety, and general welfare of the community not being adversely affected, the special exception should be granted.

Therefore, IT IS ORDERED by the Zoning Commissioner of Baltimore County, this 21st day of January, 1986, that the Petition for Special Exception

for a service garage be and is hereby GRANTED, from and after the date of this Order, subject, however, to the following restrictions which are conditions precedent to the relief granted herein:

1. The Petitioners must obtain a written agreement from John's Deli which authorizes them to use its property for access and also to park undamaged and non-disabled, operable and driveable vehicles on the rear of its property.
2. A revised site plan, conforming to the concerns raised by the State Highway Administration and the County Department of Traffic Engineering in the Zoning Advisory Committee comments, shall be submitted to the Zoning Commissioner for approval.
3. The Petitioners shall satisfy Section 405A, BCZR, by erecting an eight-foot-high fence on the north and south property lines, as shown on Petitioners' Exhibit 1.

[Signature]  
Zoning Commissioner of Baltimore County

AJ/BL  
cc: Mr. & Mrs. David J. Fisher, Sr.  
People's Counsel

ORDER RECEIVED FOR FILING  
DATE 12/16/85  
BY [Signature]  
ADMINISTRATIVE SERVICES

PHONE: 483-5150

# KELLER & KELLER

State Registered Land Surveyors

3914 WOODLEA AVENUE  
BALTIMORE, MARYLAND 21206

ZONING DESCRIPTION Sept. 18th, 1985

for

SPECIAL EXCEPTION

# 3716 Annapolis Road

BEGINNING at a point on the West side of Annapolis Rd. at the distance of 385' measured southerly from the South side of Daisy Ave.; thence leaving said Annapolis Rd. and running N. 82°35' W. 129.2' to a point; thence S. 35°45' E. 169.6' to intersect the said West side of Annapolis Rd.; thence binding along the said West side of Annapolis Rd. N. 13°30' E. 124.4' to the place of beginning.

CONTAINING 0.183 Acres of land more or less.

BEING known and designated as Lot No. 200 as shown on the Plat of part of

Section B, "ENGLISH CONSUL ESTATE", Balto. Co. Plat Book W.P.C.

No. 3, folio 109



[Signature]  
George T. Keller  
Reg. Prof. Propt.L.S.No.67

## PETITION FOR SPECIAL EXCEPTION

13th Election District

LOCATION: West side of Annapolis Road, 385 feet South of Daisy Avenue (3716 Annapolis Road)

DATE AND TIME: Monday, January 13, 1986 at 10:00 a.m.

PUBLIC HEARING: Room 106, County Office Building, 111 West Chesapeake Avenue, Towson, Maryland

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing:

Petition for Special Exception for a service garage.

Being the property of David J. Fisher, Sr., et ux as shown on the plat filed with the Zoning Office.

In the event that this Petition is granted, a building permit may be issued within the thirty (30) day appeal period. The Zoning Commissioner will, however, entertain any request for a stay of the issuance of said permit during this period for good cause shown. Such request must be received in writing by the date of the hearing set above or made at the hearing.

BY ORDER OF  
ARNOLD JABLON  
ZONING COMMISSIONER  
OF BALTIMORE COUNTY

RE: PETITION FOR SPECIAL EXCEPTION : BEFORE THE ZONING COMMISSIONER  
W/S Annapolis Rd., 385' S of Daisy Ave. (3716 Annapolis Rd.) : OF BALTIMORE COUNTY  
13th District

DAVID J. FISHER, SR., et ux, Case No. 86-272-X  
Petitioners

## ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notices should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

[Signature]  
Phyllis Cole Friedman  
Phyllis Cole Friedman  
People's Counsel for Baltimore County

[Signature]  
Peter Max Zimmerman  
Peter Max Zimmerman  
Deputy People's Counsel  
Rm. 223, Court House  
Towson, MD 21204  
494-2188

I HEREBY CERTIFY that on this 17th day of December, 1985, a copy was mailed to Mr. and Mrs. David J. Fisher, Sr., 3716 Annapolis Rd., Baltimore, MD 21227, Petitioners.

[Signature]  
Peter Max Zimmerman  
Peter Max Zimmerman







# BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE CORRESPONDENCE

TO: James E. Dyer, \_\_\_\_\_ Date: October 22, 1985  
 FROM: James H. Thompson, \_\_\_\_\_  
 David J. and Linda Lee Fisher, Petitioners  
 SUBJECT: Item No. 154

Please note that the above subject petition is an active violation case, C-85-876. When this matter is scheduled for a hearing, please notify:

Alice Marsh  
 3714 Annapolis Road  
 Baltimore, Maryland 21227

JHT:ach

# BALTIMORE COUNTY, MARYLAND

## INTER-OFFICE CORRESPONDENCE

Arnold Jablon \_\_\_\_\_ Date: December 30, 1985  
 TO: Zoning Commissioner  
 Norman E. Gerber, AICP, Director  
 FROM: Office of Planning and Zoning  
 SUBJECT: Zoning Petition No. 86-272-X

Assuming compliance with the comments of the Zoning Plans Advisory Committee, this office is not opposed to the granting of the subject request.

Norman E. Gerber, AICP  
 Director

NEC:JCH:slm

Case No. 85-272-X

## BALTIMORE COUNTY OFFICE OF PLANNING & ZONING

County Office Building  
 111 W. Chesapeake Avenue  
 Towson, Maryland 21204

Your petition has been received and accepted for filing this  
 26th day of November, 1985

Arnold Jablon  
 Zoning Commissioner

Petitioner David J. Fisher, Sr., et ux Received by: James E. Dyer  
 Petitioner's Attorney Chairman, Zoning Plans Advisory Committee

## BALTIMORE COUNTY ZONING PLANS ADVISORY COMMITTEE

December 11, 1985

COUNTY OFFICE BLDG.  
 111 W. Chesapeake Ave.  
 Towson, Maryland 21204

Mr. and Mrs. David J. Fisher, Sr.  
 3716 Annapolis Road  
 Baltimore, Maryland 21227

RE: Item No. 154 - Case No. 86-272-X  
 Petitioners - David J. Fisher, Sr., et ux  
 Special Exception Petition

Dear Mr. and Mrs. Fisher:

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above-referenced petition. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. The Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

Enclosed are all comments submitted from the members of the Committee at this time that offer or request information on your petition. If similar comments from the remaining members are received, I will forward them to you. Otherwise, any comment that is not informative will be placed in the hearing file. This petition was accepted for filing on the date of the enclosed filing certificate and a hearing scheduled accordingly.

Very truly yours,

James E. Dyer  
 Chairman  
 Zoning Plans Advisory Committee

JED:mr

Enclosures

cc: Keller & Keller  
 5914 Woodlea Avenue  
 Baltimore, Maryland 21206



William K. Hollman  
 Secretary  
 Hal Kassoff  
 Administrator

November 13, 1985

Mr. A. Jablon  
 Zoning Commissioner  
 County Office Building  
 Towson, Maryland 21204

Attn: Mr. James Dyer

Re: ZAC Meeting of 11-5-85  
 ITEM: #154  
 Property Owner: David J. Fisher, Sr.  
 et ux  
 Location: W/S Annapolis Road,  
 Route 648, 385 feet S of Daisy Ave.  
 Existing Zoning: B.L.  
 Proposed Zoning: Special Exception  
 for a service garage  
 Acres: .183 acres  
 District: 13th Election District

Dear Mr. Jablon:

On review of the submittal of 10-21-85 and field inspection, the State Highway Administration will require the site plan to be revised.

The revised site plan must show two (2) 30' channelized entrances along the frontage of the site.

This improvement is needed to provide safe and controlled access to the site by use of State Highway Administration channelization (S.H.A. concrete curb and gutter) that does not exist today.

The red lined plan also shows a 30' uncommon entrance with the adjoining owner to the south. If the uncommon access cannot be resolved with the adjoining owner the proposed State Highway Administration concrete curb and gutter must be constructed to the south property line.

It is requested the site plan be revised prior to a hearing date being set.

Very truly yours,

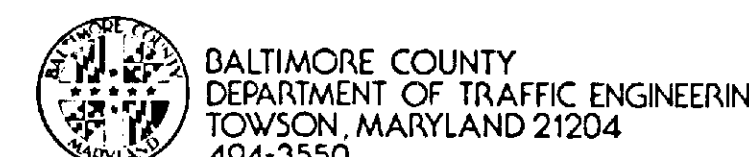
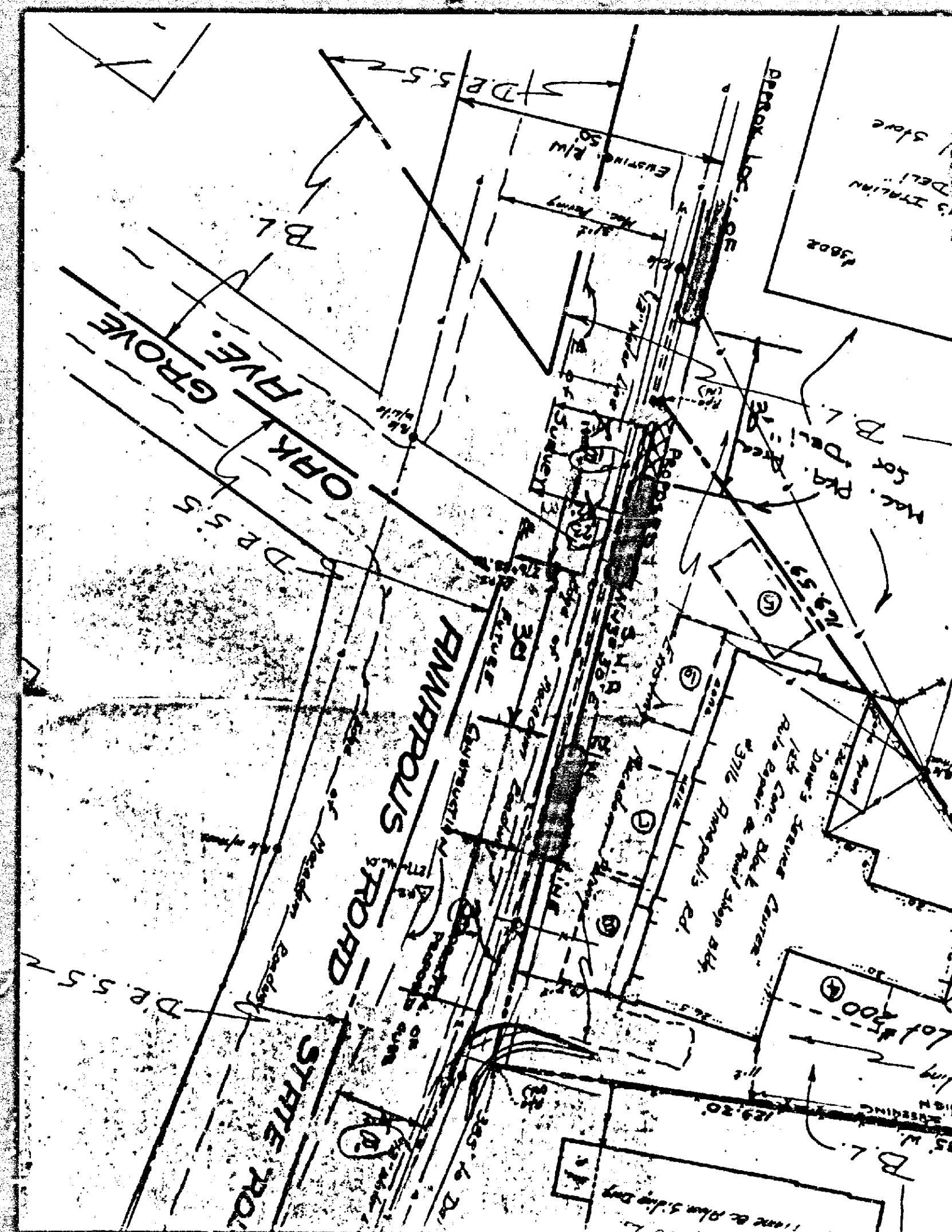
Charles Lee, Chief  
 Bureau of Engineering  
 Access Permits

By: George Wittman

CL:GW:maw

cc: Keller & Keller  
 Mr. J. Ogilvie

By telephone number is (301) 659-1350  
 Typewriter for Impaired Hearing or Speech  
 383-7555 Baltimore Metro - 565-0451 D.C. Metro - 1-800-492-5082 Statewide Toll Free  
 P.O. Box 717 707 North Calvert St., Baltimore, Maryland 21203 - 0717



STEPHEN E. COLLINS  
 DIRECTOR

November 18, 1985

Mr. Arnold Jablon  
 Zoning Commissioner  
 County Office Building  
 Towson, Maryland 21204

Item No. -ZAC- Meeting of November 5, 1985  
 Property Owner: 154  
 Location: David J. Fisher, Sr., et ux  
 Existing Zoning: W/S Annapolis Road, 385 ft. S of Daisy Avenue  
 Proposed Zoning: B.L.  
 Special Exception for a service garage

Acres: .183  
 District: 13th

Dear Mr. Jablon:

This department has reviewed the submitted site plans and has the following comments:

1. Parking - parking spaces #1, 2, 3, 4, & 5 do not meet county standards because they do not have a proper turn around area; parking spaces #5, 6, & 7 fail to meet county standards because they block the doors to the garage.
2. A sidewalk should be provided along the frontage of the site.
3. Annapolis Road is a state road and all entrance must be approved by the State Highway Administration.

Michael S. Flanagan  
 Traffic Engineer Associate II

MSF/bld

Nov. 6, 1985  
 Date

## BALTIMORE COUNTY DEPARTMENT OF HEALTH

Zoning Commissioner  
 Office of Planning and Zoning  
 County Office Building  
 Towson, Maryland 21204

Zoning Item # 154, Zoning Advisory Committee Meeting of Nov. 5, 1985

Property Owner: David J. Fisher, Sr.

Location: W/S Annapolis Rd, 385 ft S of Daisy Ave District 13th

Water Supply Public Sewage Disposal Public

COMMENTS ARE AS FOLLOWS:

- ( ) Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for any existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Environmental Support Services, for final review and approval.
- ( ) Prior to new installation/s of fuel burning equipment, the owner should contact the Division of Air Pollution Control, 494-3775, to obtain requirements for such installation/s before work begins.
- (X) A permit to construct from the Division of Air Pollution Control is required for such items as spray paint processes, underground gasoline storage tank/s (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.
- ( ) A permit to construct from the Division of Air Pollution Control is required for any charcoal burner operation which has a total cooking surface area of five (5) square feet or more.
- ( ) Prior to approval of a Building Permit Application for renovations to existing or construction of new health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval.
- ( ) Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewerage facilities or other appliances pertaining to health and safety, two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Health for review and approval. For more complete information, contact the Recreational Hygiene Section, Division of Environmental Support Services.
- ( ) Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulations. For more complete information, contact the Division of Maternal and Child Health.
- (X) If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with Water Resources Administration requirements.

SS 20 1082 (1)

1 JAN 1986



Zoning Item # 154 Zoning Advisory Committee Meeting of Nov. 5, 1985  
Page 2

- ( ) Prior to making of existing structure/s, petitioner must contact the Division of Water Quality and Waste Management at 494-3768, regarding removal and/or disposal of potentially hazardous materials and solid wastes.
- (X) Any abandoned underground storage tanks containing gasoline, waste oil, solvents, etc., must have the contents removed by a licensed hauler and either be removed from the property or properly backfilled. Prior to removal or abandonment, owner must contact the Division of Water Quality and Waste Management at 494-3768.
- ( ) Soil percolation tests (have been/must be) conducted.  
( ) The results are valid until \_\_\_\_\_.  
( ) Soil percolation test results have expired. Petitioner should contact the Division of Environmental Support Services to determine whether additional tests are required.
- ( ) Where water wells are to be used as a source of water supply, a well meeting the minimum Baltimore County Standards must be drilled.
- ( ) In accordance with Section 13-117 of the Baltimore County Code, the water well yield test \_\_\_\_\_ shall be valid until \_\_\_\_\_ is not acceptable and must be retested. This must be accomplished prior to conveyance of property and approval of Building Permit Application.
- ( ) Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples.
- ( ) If submission of plans to the County Review Group is required, a Hydrogeological Study and an Environmental Effects Report must be submitted.
- ( ) Others \_\_\_\_\_

*[Signature]*  
Jan J. Forrester, Director  
BUREAU OF ENVIRONMENTAL SERVICES

SS 20 1283 (2) B

BALTIMORE COUNTY  
FIRE DEPARTMENT  
TOWSON, MARYLAND 21204-2586  
494-4500

PAUL H. REINKE  
CHIEF

November 21, 1985

Mr. Arnold Jablon  
Zoning Commissioner  
Office of Planning and Zoning  
Baltimore County Office Building  
Towson, Maryland 21204

Attention: Nick Commodari, Chairman  
Zoning Plans Advisory Committee

RE: Property Owner: David J. Fisher, Sr., et ux

Location: W/S Annapolis Road, 385' S. of Daisy Avenue

Item No.: 154 Zoning Agenda: Meeting of November 5, 1985

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below marked with an "X" are applicable and required to be corrected or incorporated into the final plans for the property.

- (X) 1. Fire hydrants for the referenced property are required and shall be located at intervals of 300 feet along an approved road in accordance with Baltimore County Standards as published by the Department of Public Works.

- ( ) 2. A second means of vehicle access is required for the site.

- ( ) 3. The vehicle dead end condition shown at \_\_\_\_\_

EXCEEDS the maximum allowed by the Fire Department.

- ( ) 4. The site shall be made to comply with all applicable parts of the Fire Prevention Code prior to occupancy or beginning of operation.

- (X) 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1976 edition prior to occupancy.

- ( ) 6. S... plans are approved, as drawn.

- ( ) 7. The Fire Prevention Bureau has no comments at this time.

REVIEWER: *[Signature]* Noted and Approved: *[Signature]*  
Planning Group Fire Prevention Bureau  
Special Inspection Division

/mb

BALTIMORE COUNTY  
DEPARTMENT OF PERMITS & LICENSES  
TOWSON, MARYLAND 21204  
494-3610

December 6, 1985

TED ZALESKI, JR.  
DIRECTOR

Mr. Arnold Jablon, Zoning Commissioner  
Office of Planning and Zoning  
Towson, Maryland 21204

Dear Mr. Jablon:

Comments on Item # 154 Zoning Advisory Committee Meeting are as follows:

Property Owner: David J. Fisher, Sr., et ux  
Location: W/S Annapolis Road, 385 feet S of Daisy Avenue  
13th.

Revised:

APPLICABLE ITEMS ARE CIRCLED:

- (1) All structures shall conform to the Baltimore County Building Code as adopted by Council Bill #17-85, the Maryland Code for the Landscaping and Aged (A.L.D.L. #17-85) and other applicable Code and Standards.

- B. A building and other miscellaneous permits shall be required before the start of any construction.

- C. Residential: Two sets of construction drawings are required to file a permit application. The seal of a registered in Maryland Architect or Engineer is/are not required to plans and technical data.

- D. Commercial: Three sets of construction drawings sealed and signed by a registered in Maryland Architect or Engineer shall be required to file with a permit application. Reproduced seals are not acceptable.

- E. All Use Groups except B-4 Single Family Detached Dwellings require a minimum of 1 hour fire rating for exterior walls closer than 6'-0" to an interior lot line. B-4 Use Groups require a one hour wall if closer than 3'-0" to an interior lot line. Any wall built on an interior lot line shall require a fire or party wall. See Table 101, Section 101.7, Section 106.2 and Table 102.5. No openings are permitted in an exterior wall within 3'-0" of an interior lot line.

- F. The structure does not appear to comply with Table 505 for permissible height/area. Reply to the requested variance by this office cannot be considered until the necessary data pertaining to height/area and construction type is provided. See Table 101 and 505 and have your Architect/Engineer contact this department.

- G. The requested variance appears to conflict with Section(s) \_\_\_\_\_ of the Baltimore County Building Code.

- H. When filing for a required Change of Use/Competition Permit, an attention permit application shall also be filed along with these sets of acceptable construction plans indicating how the existing structure is to be altered in order to comply with the Code requirements for the new use. Revised Architectural or Engineer seals are usually required. The change of the Groups are from Use \_\_\_\_\_ to Use \_\_\_\_\_ or to Mixed Use \_\_\_\_\_ See Section 102 of the Building Code.

- I. The proposed project appears to be located in a Flood Plain, Flood Hazard Area. Please see the attached copy of Section 245.0 of the Building Code as adopted by Bill #17-85, with plans shall show the correct elevations above sea level for the lot and the finished floor levels including basement.

- (1) Comments: It appears Section 103.0 as amended by Bill #17-85 may be applicable. However, fire or life safety violations should there be any, shall be corrected.

- K. These abbreviated comments reflect only on the information provided by the drawings submitted to the Office of Planning and Zoning and are not intended to be construed as the full extent of any permit. If desired the applicant may obtain additional information by visiting Room 102 of the County Office Building 111 W. Chesapeake Avenue, Towson, Maryland 21204.

*[Signature]*  
By: C. E. Burman, Jr.  
Building Plans Review

L/27/85

BALTIMORE COUNTY  
OFFICE OF PLANNING AND ZONING  
TOWSON, MARYLAND 21204  
494-3610

Mr. Arnold Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

DECEMBER 13, 1985

Re: Zoning Advisory Meeting of November 5, 1985  
Item # 154  
Property Owner: DAVID J. FISHER, SR. ET UX  
Location: W/S ANAPOLIS RD. 385' S. OF DAISY AVE.

Dear Mr. Jablon:

The Division of Current Planning and Development has reviewed the subject petition and offers the following comments. The items checked below are applicable.

- (X) There are no site planning factors requiring comment.  
(X) A County Review Group meeting was held and the minutes will be forwarded by the Bureau of Public Services.  
( ) This site is part of a larger tract; therefore it is defined as a subdivision. The plan must show the entire tract.  
(X) A record plat will be required and must be recorded prior to issuance of a building permit.  
( ) The access is not satisfactory.  
( ) The circulation on this site is not satisfactory.  
( ) The parking arrangement is not satisfactory.  
( ) This property contains soils which are defined as wetlands, and development on these soils is prohibited.  
( ) Construction in or alteration of the floodplain is prohibited under the provisions of Section 22-58 of the Development Regulations.  
( ) Development of this site may constitute a potential conflict with the Baltimore County Master Plan.  
( ) The amended Development Plan was approved by the Planning Board on \_\_\_\_\_.  
( ) Understanding: Must comply with Baltimore County Landscape Manual, Bill 178-79. No building permit may be issued until a Reserve Capacity Use Certificate has been issued. The deficient service is \_\_\_\_\_.  
( ) The property is located in a traffic area controlled by a "T" level intersection as defined by Bill 178-79, and as conditions change the intersection shall be re-evaluated annually by the County Council.  
( ) Additional comments: \_\_\_\_\_

cc: James Hovell

Eugene A. Rober  
Chief, Current Planning and Development

BALTIMORE COUNTY  
DEPARTMENT OF TRAFFIC ENGINEERING  
TOWSON, MARYLAND 21204  
494-3550

STEPHEN E. COLLINS  
DIRECTOR

March 12, 1986

Mr. Arnold Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Item No. 154 -ZAC-  
Property Owner: Meeting of November 5, 1985  
Location: David J. Fisher, Sr., et ux  
Existing Zoning: W/S Annapolis Road, 385 ft. S Daisy Avenue  
Proposed Zoning: B.L.  
Special Exception for a service garage

Acres: .183  
District: 13th

Dear Mr. Jablon:

The site plan for item #154 appears to be satisfactory.

*[Signature]*  
Richard S. Alanson  
Traffic Engineer Associate II

MSP/bld

Maryland Department of Transportation  
State Highway Administration

William H. Williams  
Director  
Mr. Ernest  
Assistant

November 13, 1985

Mr. A. Jablon  
Zoning Commissioner  
County Office Building  
Towson, Maryland 21204

Attn: Mr. James Dyer

Dear Mr. Jablon:

On review of the submittal of 10-21-85 and field inspection the State Highway Administration will require the site plan to be revised.

The revised site plan must show two (2) 30' channelized entrances along the frontage of the site.

This improvement is needed to provide safe and controlled access to the site by use of State Highway Administration channelization (S.H.A. concrete curb and gutter) that does not exist today.

The red lined plan also shows a 30' inconspicuous entrance with the adjoining owner to the south. If the inconspicuous entrance cannot be resolved with the adjoining owner the proposed State Highway Administration concrete curb and gutter must be constructed to the south property line.

It is requested the site plan be revised prior to a hearing date being set.

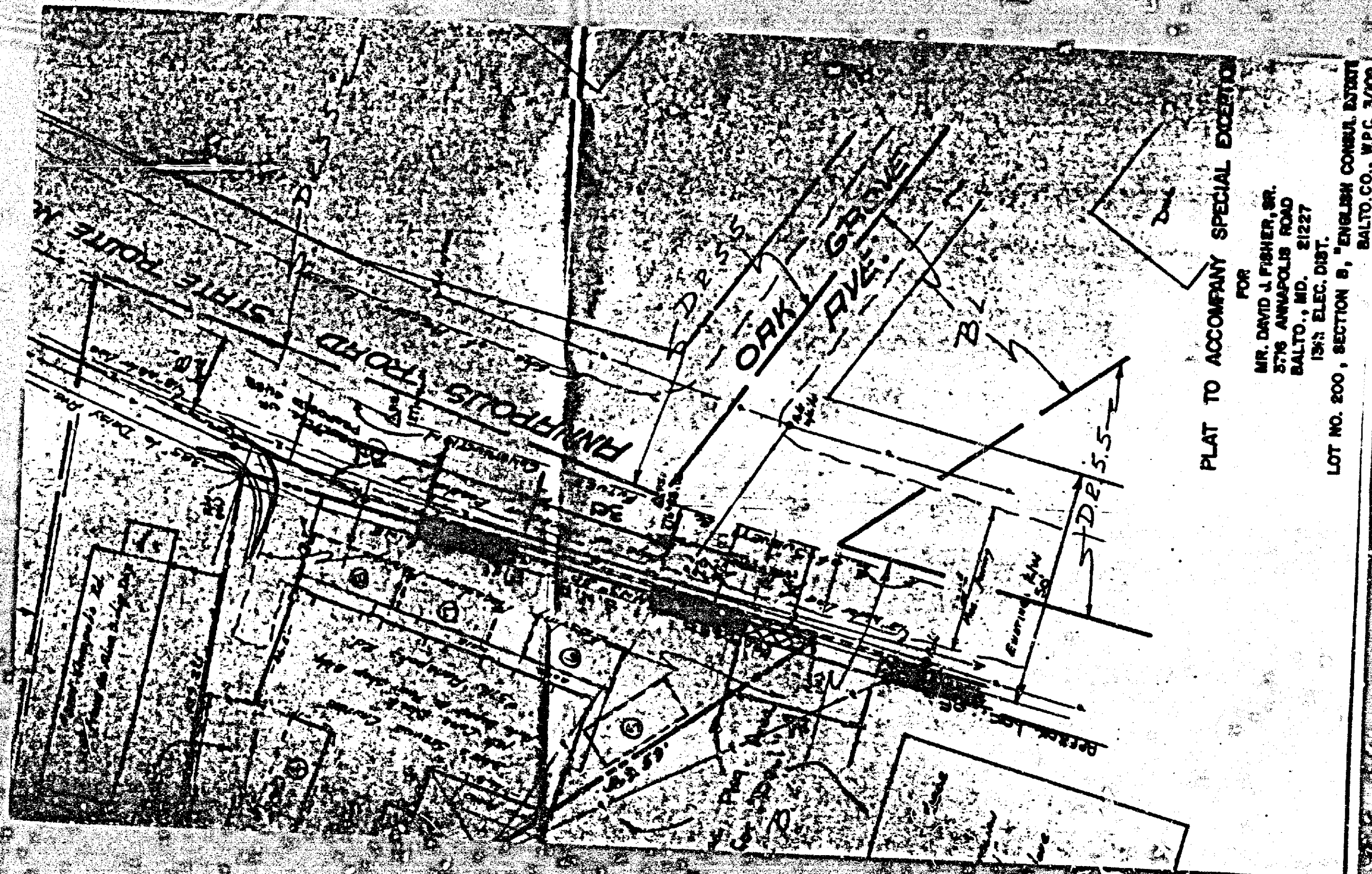
Very truly yours,

Charles Lee, Chief  
Bureau of Engineering  
Access Permits

By: George Wittman

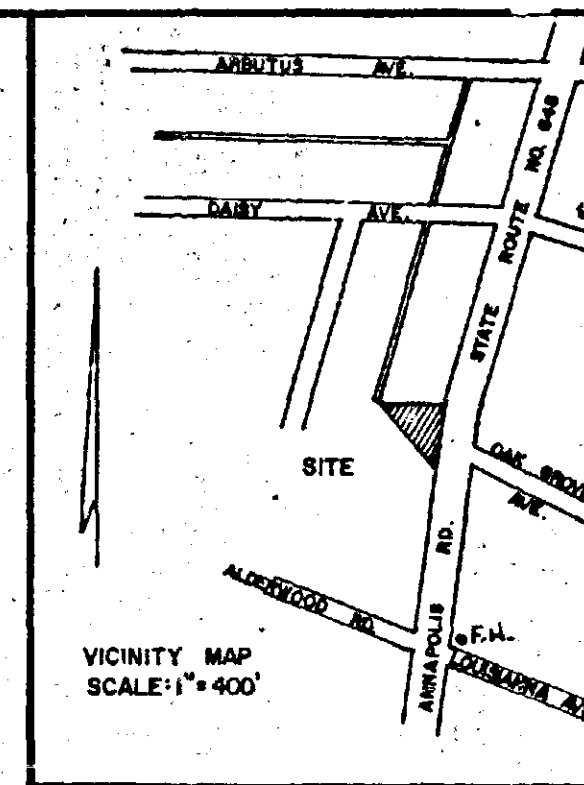
*[Signature]*  
William H. Williams  
Director  
Mr. Ernest  
Assistant

Mr. Ernest  
Assistant  
Mr. Ernest  
Assistant



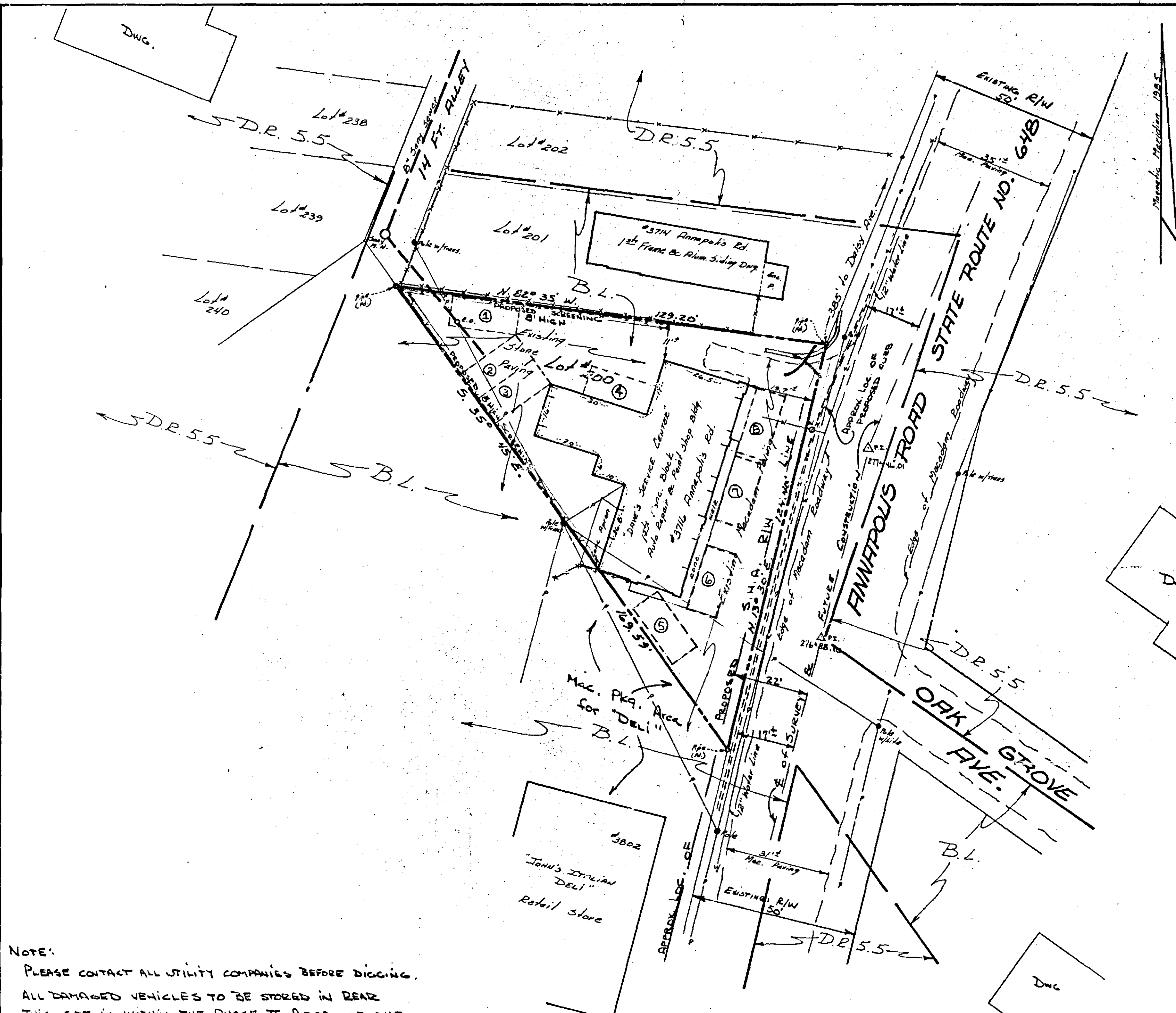
PLAT TO ACCOMPANY SPECIAL EXCEPTION  
FOR  
MR. DAVID J. FISHER, SR.  
378 ANAPOLIS RD.  
BALTO., MD. 21204  
13th DIST.  
LOT NO. 200, SECTION 8, TOWSON CORRAL ENTRY  
BALTO. CO. MAP 3709



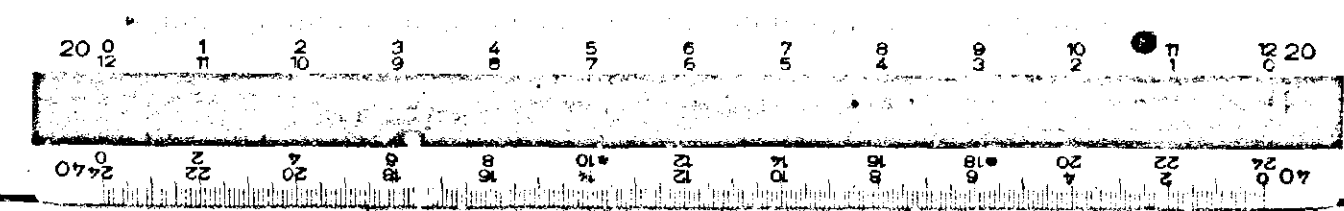


**GENERAL NOTES**

EXISTING ZONING	B.L.
AREA OF SITE	0.183 AC.±
FLOOR AREA OF BLDG	2283 sq. ft.
<b>PARKING DATA:</b>	
SPACES REQUIRED: $\frac{2283}{300}$	= 8
SPACES PROVIDED:	= 8
PKG SPACES SHOWN TRUS	③
PKG. SPACE SIZE	9' x 20'



**NOTE:**  
 PLEASE CONTACT ALL UTILITY COMPANIES BEFORE DIGGING.  
 ALL DAMAGED VEHICLES TO BE STORED IN REAR  
 THIS SITE IS WITHIN THE PHASE II AREA OF THE  
 S.H.A. IMPROVEMENT PLAN OF ANNAPOLIS RD.



**PETER ORR'S**  
**EXHIBIT 1**

86-272-X  
 SW 5B  
 2A  
 SCALE: 1" = 20'  
 DATE: Oct. 21<sup>st</sup>, 1985  
*Myr. Seesh*  
 REG. PROF. PROPT. L.S. NO. 67

**PLAT TO ACCOMPANY SPECIAL EXCEPTION**  
 FOR  
 MR. DAVID J. FISHER, SR.  
 3716 ANNAPOLIS ROAD  
 BALTO., MD. 21227  
 13th ELEC. DIST.  
 LOT NO. 200, SECTION B, "ENGLISH CONSUL ESTATES"  
 BALTO.CO., W.P.C. 3/109

**KELLER & KELLER**  
**LAND SURVEYORS**  
 3914 WOODLEA AVE.  
 BALTO., MD. 21206  
 301-483-5150